



NOTICE OF A MEETING

(In compliance with Sec. 551.041, Et. Seq., Tex. Gov't. Code)

NOTICE is hereby given that the City of Jersey Village Board of Adjustment will hold a meeting on April 12, 2022, at 12:00 p.m. in the Civic Center Meeting Room at 16327 Lakeview Drive, Jersey Village, Texas 77040. The City of Jersey Village Board of Adjustment reserves the right to meet in closed session on any agenda item should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

A quorum of the City of Jersey Village City Council may be in attendance at this meeting.

ITEM(S) to be discussed/acted upon by the Board is/are listed on the attached agenda.

AGENDA

- A. Open Meeting. Call the meeting to order and the roll of appointed officers will be taken. *Board Chairman*
- B. Designate alternate members to serve in place of any absent Board Members. *Board Chairman*
- C. **CITIZENS' COMMENTS** - Any person who desires to address the Board of Adjustment regarding an item on the agenda will be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the comment is on the agenda, the City staff and Board Members are not allowed to discuss the subject. Each person is limited to five (5) minutes for comments to the Board of Adjustment.
- D. Consider approval of the minutes for the meeting held on January 10, 2022. *Lorri Coody, City Secretary*
- E. Conduct a Public Hearing on the request of Oscar G. Ortiz, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches for the property located at 15710 Seattle Street, Jersey Village, Texas 77040. *Board Chairman*
 - (1) Discuss and take appropriate action on the request of Oscar G. Ortiz, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches for the property located at 15710 Seattle Street, Jersey Village, Texas 77040. *Evan Duvall, Building Official Representative*
- F. Conduct a Public Hearing on the request of Jim Girouard, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet for the property located at 15714 Tenbury Street, Jersey Village, Texas 77040.

- (1) Discuss and take appropriate action on the request of Jim Girouard, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet for the property located at 15714 Tenbury Street, Jersey Village, Texas 77040. *Evan Duvall, Building Official Representative*

G. Adjourn.

CERTIFICATION

I, the undersigned authority, do hereby certify in accordance with the Texas Open Meeting Act, the Agenda is posted for public information, at all times, for at least 72 hours preceding the scheduled time of the meeting on the bulletin board located at City Hall, 16327 Lakeview, Jersey Village, TX 77040, a place convenient and readily accessible to the general public at all times, and said Notice was posted on the following date and time: April 4, 2022 at 5:00 p.m. and remained so posted until said meeting was convened.

Lorri Coody, City Secretary



In compliance with the Americans with Disabilities Act, the City of Jersey Village will provide for reasonable accommodations for persons attending City Council meetings. Request for accommodations must be made to the City Secretary by calling 713 466-2102 forty-eight (48) hours prior to the meetings. Agendas are posted on the Internet Website at www.jerseyvillagetx.com.

"Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun."

"Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly."

C. CITIZENS' COMMENTS - Any person who desires to address the Board of Adjustment regarding an item on the agenda will be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the comment is on the agenda, the City staff and Board Members are not allowed to discuss the subject. Each person is limited to five (5) minutes for comments to the Board of Adjustment.

**MINUTES OF THE MEETING OF THE JERSEY VILLAGE
BOARD OF ADJUSTMENT
January 10, 2022 – 3:00 p.m.**

The Board of Adjustment of the City of Jersey Village, Texas, convened on January 10, 2022 at 3:00 p.m. in the Civic Center at 16327 Lakeview Drive, Jersey Village, Texas 77040.

A. The meeting was called to order by Chairman Tom G. Simchak at 3:01 p.m. and the roll of appointed officers was taken. Board Members present were:

Thomas G. Simchak, Chairman	M. Reza Khalili, Board Member
Joe Pennington, Board Member	Nester Mena, Board Member
Judy Tidwell, Alternate Place 1	Nelson L. Feeney, Alternate Place 2

Board Member, Ken Nguyen was not present at this meeting.

Council Liaison, Gary Wubbenhorst was present at this meeting.

City Staff in attendance: Justin Pruitt, City Attorney; Lorri Coody, City Secretary; Evan Duvall, Building Official Representative and Harry Ward, Public Works Director.

B. Designate alternate members to serve in place of any absent Board Members.

Chairman Simchak designated Judy Tidwell, Alternate Place 1 to serve in the place of Board Member Ken Nguyen.

C. CITIZENS' COMMENTS - Any person who desires to address the Board of Adjustment regarding an item on the agenda will be heard at this time. In compliance with the Texas Open Meetings Act, unless the subject matter of the comment is on the agenda, the City staff and Board Members are not allowed to discuss the subject. Each person is limited to five (5) minutes for comments to the Board of Adjustment.

There were not Citizens' Comments.

D. Election of chairperson and vice-chairperson for one-year term beginning October 1, 2021 and ending September 30, 2022.

Chairman Simchak opened nominations for Chair of the Board for a one-year term beginning October 1, 2021 and ending September 30, 2022. Board Member Khalili nominated Board Member Thomas G. Simchak. Board Member Pennington seconded the nomination. With no other nominations being made, the vote follows:

Ayes: Board Members Khalili, Pennington, Mena, and Tidwell
Chairman Simchak

Nays: None

The motion carried.

Chairman Simchak opened nominations for the office of Vice Chair for a one-year term beginning October 1, 2021 and ending September 30, 2022. Board Member Khalili nominated

Board Member Reza Khalili. Board Member Pennington seconded the nomination. With no other nominations being made, the vote follows:

Ayes: Board Members Khalili, Pennington, Mena, and Tidwell
Chairman Simchak

Nays: None

The motion carried.

E. Consider approval of the minutes for the meeting held on September 9, 2020.

Board Member Khalili moved to approve the minutes for the meeting held on September 9, 2020. Board Member Mena seconded the motion. The vote follows:

Ayes: Board Members Khalili, Pennington, Mena, and Tidwell
Chairman Simchak

Nays: None

The motion carried.

F. Conduct a Public Hearing on Lester Jones’ request, filed on behalf of Texas SN Jersey Village, LLC, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-109(b)(2), to allow the applicant to construct a 642 square foot building, which is 358 square foot smaller than the required 1,000 square foot of ground floor area, for the property located at 8311 Jones Road, Jersey Village, Texas 77040.

Chairman Simchak opened the public hearing at 3:06 p.m. in order to receive written and oral comments from any interested person(s) concerning Lester Jones’ request, filed on behalf of Texas SN Jersey Village, LLC, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-109(b)(2), to allow the applicant to construct a 642 square foot building, which is 358 square foot smaller than the required 1,000 square foot of ground floor area, for the property located at 8311 Jones Road, Jersey Village, Texas 77040.

The Board found that all notification requirements for both the City and the Applicant have been met for this public hearing.

Chairman Simchak called upon the Applicant to present his case and supporting evidence concerning the variance request.

Applicant, Lester Jones, on behalf of Texas SN Jersey Village, LLC, owner presented the item. He gave background information concerning the request. He also told the Board background information about the property and the various businesses in the business park.

Mr. Jones stated that he owns the five-acre business park where the structure that is the subject of this request will be located. He told the Board that he is working on developing the property. It is being developed in phases. He stated that he has been contacted by Scooters Coffee. It is one of the top 10 businesses for coffee in the nation. They have a great business model that makes them very competitive.

He brought exhibits to demonstrate the Scooters concept that he shared with the Board. He explained that Scooters Coffee is a kiosk concept that has no seating, thus the small footprint of the structure. It is built on a concrete foundation. It is not mobile.

With no further comments from the Applicant, Board Chairman Simchak called Evan Duvall, the City's Building Official Representative, to present information that he deemed necessary, appropriate, or relative to the application.

Mr. Duvall stated that he reviewed the application. He gave background information about the requirements of the City's Code for this District. The Board asked if he had concerns. He stated that he does not have any concerns about the size of the building being requested.

The Board discussed the requested variance. They reviewed the site plan, which was explained by the Applicant. It was mentioned that the site is close to Jones Road. As such, there was concern about cars stacking up and impeding traffic on Jones as they wait for coffee. The Applicant explained that the number of cars in line before impeding traffic on Jones Road is about 13 vehicles.

The offerings of Scooters were discussed. The applicant stated that it is limited. Scooters serves prepackaged food with nothing being prepared on site.

The entrances and exits to the property were discussed. The Applicant explained the existing curb cuts and stated that there are no plans to add additional curb cuts.

The hours of operation were discussed. The Code requirements for structures were discussed and explained by the Building Official Representative. Some members wondered if this was a zoning issue as opposed to a variance issue.

The timeline was discussed. The applicant explained that the project is ready to begin very quickly, within 10 weeks. There was discussion if Scooters ever builds larger structures to accommodate 1,000 square feet. The applicant stated that they do, but it is rare given they mostly build kiosk structures, and they are not prepared to build larger buildings in this area.

The City Attorney explained that this is an issue that the Board can rule upon. He explained the process. As far as changing the Zoning Code in the future, it would need to go to the Planning and Zoning Commission for a Code amendment. The Board discussed the pros and cons of moving forward with an ordinance change as opposed to a variance request. City Secretary Coody explained the Planning and Zoning process and timetable along with input from the City Attorney.

The tax value of the property was discussed. The exit doors to the facility were discussed.

With no further discussion or questions, the Board Chairman called if there was anyone else desiring to speak in favor or opposed to the granting of the application.

There were no public comments and the applicant had nothing further to add.

With no other comments, Chairman Simchak closed the public hearing on Lester Jones' request, filed on behalf of Texas SN Jersey Village, LLC, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-109(b)(2), to allow the applicant to construct a 642 square foot building, which is 358 square foot smaller

than the required 1,000 square foot of ground floor area, for the property located at 8311 Jones Road, Jersey Village, Texas 77040 at 3:34 p.m.

(1) Discuss and take appropriate action on Lester Jones’ request, filed on behalf of Texas SN Jersey Village, LLC, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-109(b)(2), to allow the applicant to construct a 642 square foot building, which is 358 square foot smaller than the required 1,000 square foot of ground floor area, for the property located at 8311 Jones Road, Jersey Village, Texas 77040.

The Board engaged in discussion about the variance request. It was noted that at this time, in accordance with the direction of the City Attorney, the applicant has no other course of action to build this structure.

With no further discussion on the matter, Board Member Mena moved to grant Lester Jones’ request, filed on behalf of Texas SN Jersey Village, LLC, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-109(b)(2), to allow the applicant to construct a 642 square foot building, which is 358 square foot smaller than the required 1,000 square foot of ground floor area, for the property located at 8311 Jones Road, Jersey Village, Texas 77040. Board Member Khalili seconded the motion. The vote follows:

Ayes: Board Members Khalili, Tidwell, and Mena
Chairman Simchak

Nays: Board Member Pennington

The motion carried.

The Board’s Original Order No. 2022-01 is attached to and made a part of these minutes.

G. Adjourn

With no other business before the Board, Chairman Simchak adjourned the meeting at 3:38 p.m.

Lorri Coody, City Secretary





**CITY OF JERSEY VILLAGE
BOARD OF ADJUSTMENT
ORDER NO. 2022-01**

WHEREAS, on December 13, 2021, Lester Jones filed, on behalf of Texas SN Jersey Village, LLC, owner, a request for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-109(b)(2), to allow the applicant to construct a 642 square foot building, which is 358 square foot smaller than the required 1,000 square foot of ground floor area, for the property located at 8311 Jones Road, Jersey Village, Texas 77040.

WHEREAS, the Board conducted a Public Hearing and received information from the Public and from the Applicants on January 10, 2022; and

WHEREAS, after closing the hearing, the Board in making its decision considered:

- if the request for variance is contrary to the public’s interest;
- if, due to special conditions, enforcement of Chapter 14, Article IV, Division 2, Section 14-109(b)(2) will result in an unnecessary hardship for Lester Jones; and
- that in granting the variance, the spirit of this chapter will be upheld and observed;

NOW THEREFORE, BE IT ORDERED BY THE BOARD OF ADJUSTMENT OF THE CITY OF JERSEY VILLAGE THAT:

SECTION 1. In consideration of the information before the Board, with a concurring vote of at least four (4) members, the Board voted to GRANT Texas SN Jersey Village, LLC, owner, a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-109(b)(2), by allowing the applicant to construct a 642 square foot building, which is 358 square foot smaller than the required 1,000 square foot of ground floor area, for the property located at 8311 Jones Road, Jersey Village, Texas 77040.

PASSED, APPROVED, AND ORDERED this 10th day of January, 2022.

s/Thomas G. Simchak, Chairman

ATTEST:

s/Lorri Coody, City Secretary



BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

BOARD OF ADJUSTMENT - CITY OF JERSEY VILLAGE, TEXAS - AGENDA REQUEST

AGENDA DATE: April 12, 2022

AGENDA ITEM: E

AGENDA SUBJECT: Conduct a Public Hearing on the request of Oscar G. Ortiz, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches for the property located at 15710 Seattle Street, Jersey Village, Texas 77040.

Department/Prepared By: Lorri Coody, City Secretary

EXHIBITS: [Application](#)
[City's Certification](#) of Public Hearing Posting Requirements
Applicant's Certification - Posting Requirements
[PH Script](#)

BACKGROUND INFORMATION:

Oscar G. Ortiz, owner of the property located at 15710 Seattle has filed a request for variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches.

Before the Board can consider the application for this variance, it must conduct a public hearing in order to receive written and oral comments from any interested person(s) concerning Oscar Ortiz' request.

This item is to conduct the public hearing.

RECOMMENDED ACTION:

Conduct a Public Hearing on the request of Oscar G. Ortiz, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches for the property located at 15710 Seattle Street, Jersey Village, Texas 77040.

DATE : 1/7/2022 3:43 PM
OPER : PB
TERM : 1
REC# : R00803652

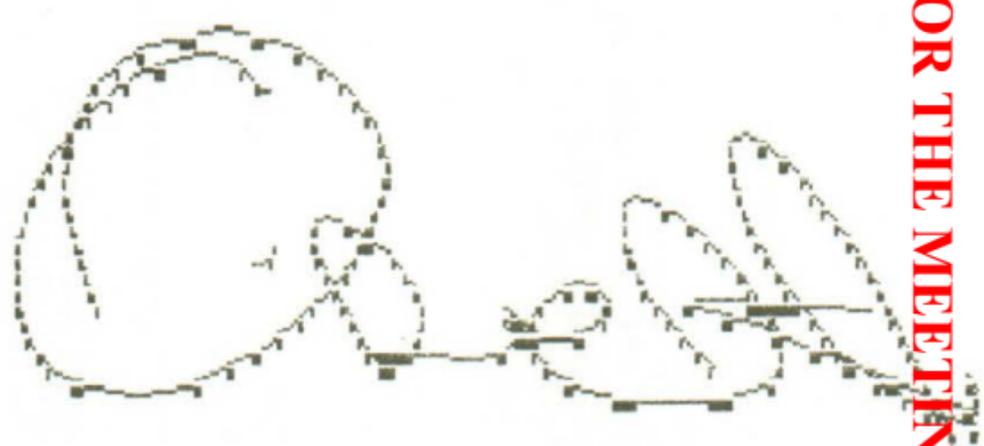
192.0000 MISC. REVENUE 300.00
VARIANCE ORTIZ 15710 SEATTLE 300.00

Paid By:VARIANCE ORTIZ 15710 SEATTLE
4-CC 300.00AUTH:054516

APPLIED 300.00
TENDERED 300.00

CHANGE 0.00

Cardmember acknowledges receipt of goods and/or services in the amount of the total shown hereon and agrees to perform the obligations set forth by the cardmember's agreement with the user.

A handwritten signature in black ink, appearing to read 'J. Ortiz', is written across the middle of the page. The signature is somewhat stylized and overlaps the text below it.

XXXXXXXXXXXX1745
Entry Mode: CHIP READ
CVM:

EMV Details:
AC: DBCD5E26D68A2FBD
ATC: 029B
AID: A0000000031010
TVR: 8080008000
TSI: 6800

BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

CITY OF JERSEY VILLAGE
Application for Request for Variance

\$300.00 non-refundable fee due upon submission of the request

PROPERTY INFORMATION

Address: 15710 Seattle Street
Legal Description: Lot TR25 Block: 6 Subdivision: Country Club Estates I

APPLICANT INFORMATION

(If different than owner, application must be accompanied by an Appointment of Agent Affidavit)

Applicant: Oscar G. Ortiz Phone: 832-202-9987
Address: 15710 Seattle Street
City: Jersey Village State: TX Zip: 77040

OWNER INFORMATION

Oscar G. Ortiz
Property Owner Telephone Number
15710 Seattle Street Jersey Village TX 77040
Street Address City State Zip Code

Describe variance sought: 2ft to 3ft deviation from the 25ft setback in front of property.
variance is sought to build a usable porch as opposed to simply a small slab with a
covered roof. Porch will be thematically correct for the style of house.

Describe existing standard: Existing standard is a 25ft setback from front property
line, which would only leave a 3ft slab to build a covered porch. This is not
enough room to build a practical and usable covered porch. The property
to the east of mine already has a wall protruding past the 25ft setback.

BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

In accordance with Section 14-9 of the City of Jersey Village Code of Ordinances, to obtain a variance the application must meet the following criteria:

(1) What special conditions and circumstances exist which are peculiar to the land, structure, or building involved which are not applicable to other lands, structures or buildings in the same district?

The current 25ft setback does not allow enough room to build a usable and aesthetically pleasing front porch.

The current 25ft setback does not allow enough room to build a usable and aesthetically pleasing front porch.

The current 25ft setback does not allow enough room to build a usable and aesthetically pleasing front porch.

(2) Why does the literal interpretation of the provisions of this Code result in unnecessary hardship? Unnecessary hardship is due to exceptional narrowness, shallowness, shape, topography or other extraordinary or exceptional physical situation or physical condition unique to the specific piece of property in question. "Unnecessary hardship" shall mean physical hardship relating to the property itself as distinguished from a hardship relating to convenience, financial considerations or caprice, and the hardship must not result from the applicant or owner's own action.

As stated above, a 25ft setback does not allow enough room to build an effective front porch. A porch should be enjoyed.

As stated above, a 25ft setback does not allow enough room to build an effective front porch. A porch should be enjoyed.

(3) Are the special conditions and circumstances the result of the actions of the applicant? (i.e. can the size of the structure be changed to meet the requirements of the Code.)

It would be impractical to stay within the current 25ft setback to build a thematically correct and usable front porch.

It would be impractical to stay within the current 25ft setback to build a thematically correct and usable front porch.

It would be impractical to stay within the current 25ft setback to build a thematically correct and usable front porch.

(4) Does granting the variances as requested confer on the applicant any special privilege that is denied by the Code to other lands, structures, or buildings in the same district?

No

No

Oscar Ortiz

Digitally signed by Oscar Ortiz
Date: 2021.12.23 11:57:37 -0600'

Signature of Applicant

Date

REQUESTS MUST BE SUBMITTED NO LATER THEN 4:30 P.M. SIXTEEN (16) DAYS PRIOR TO THE OFFICIAL MEETING DATE.

OFFICE USE ONLY	
Received by: _____	Date: _____
Fee paid (amount): \$ _____	

Letter of Intent
In Support of Request for Variance
15710 Seattle St. Jersey Village TX

This Letter of Intent is in support of my request for a variance to the front yard Setback requirement for an existing property located at 15710 Seattle St. The legal description of the lot is TR 25 BLK 6 JERSEY VLG COUNTRY CLUB EST 1. The intention of the variance is to construct a front porch approximately 6' deep and 38' wide, with a maximum 2' overhang. The front porch will be thematically correct for my style of house.

As such, based on the current front yard setback requirement of 25' from front property line, it would not be practical to build a useable or thematically correct front porch without being able to actually construct a useable front porch. As currently built, the front porch step is approximately 34" X 23" and uncovered, which is for all practical purposes is useless other than to walk into the front door without tracking in mud and debris.

What am proposing in all actuality is nothing any different than what currently exists in Jersey Village. I have attached several pics, with the first pic being the site survey, second pic is my residence (with the flags in front), the third pic showing the type of porch I would like to build (minus the steps going up). I have also attached several other pics of residences in the neighborhood which have front porches similar to what I am proposing, as well as one that is outside of the 25' setback requirement.

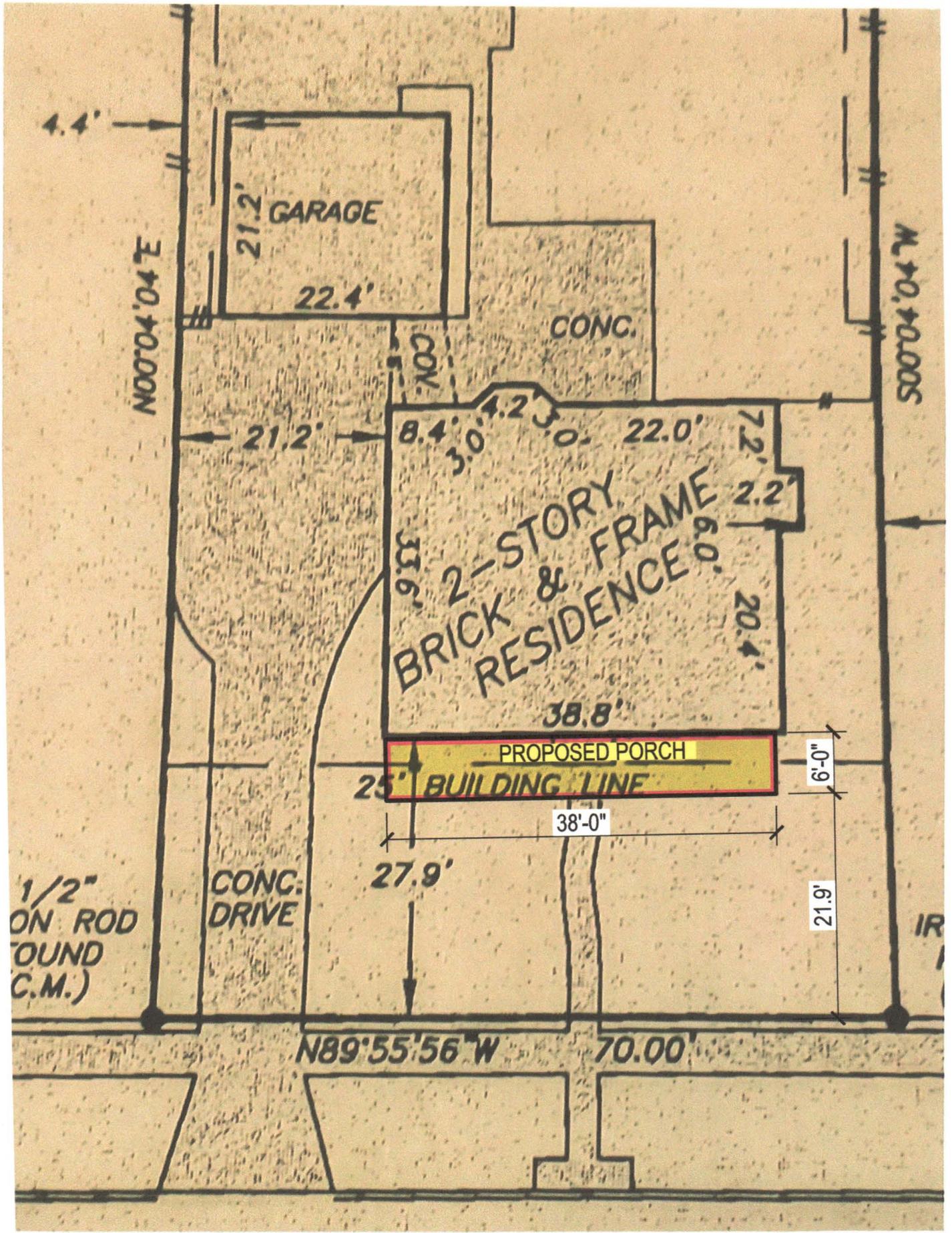
What is perhaps the most relevant here, and what I would politely ask the board to consider, is (1) the fact that front porches already exist in Jersey Village; (2) the variance I am asking for is only 2' to 3' from the current 25' front yard setback. The requested variance will be for all practical purposes imperceptible by the general public and will result in an overall increase in property value for the neighborhood.

Thank you for your time and consideration.

Respectfully submitted,



Oscar G. Ortiz
15710 Seattle Street
Jersey Village TX, 77040
832-202-9987
[REDACTED]



ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Oscar Ortiz				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 15710 Seattle Street				Company NAIC Number:	
City Jersey Village		State Texas		ZIP Code 77040	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) TR 25 BLK 6 JERSEY VLG COUNTRY CLUB EST 1 #1047610000025					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>29°52'52.25"N</u> Long. <u>95°33'33.95"W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1B</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>NIA</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>NIA</u>					
c) Total net area of flood openings in A8.b <u>NIA</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>400</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>NIA</u>					
c) Total net area of flood openings in A9.b <u>NIA</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number City Of Jersey Village 480300			B2. County Name Harris		B3. State Texas
B4. Map/Panel Number 48201C0445	B5. Suffix M	B6. FIRM Index Date 05/02/2019	B7. FIRM Panel Effective/ Revised Date 06/09/2014	B8. Flood Zone(s) SHADED X	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 102.4
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input checked="" type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input checked="" type="checkbox"/> Other/Source: <u>NAVD88, 2001 adj.</u>					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 15710 Seattle Street			Policy Number:
City Jersey Village	State Texas	ZIP Code 77040	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: RM 050103 Vertical Datum: NAVD88, 2001 adjusted

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: see above

Datum used for building elevations must be the same as that used for the BFE.

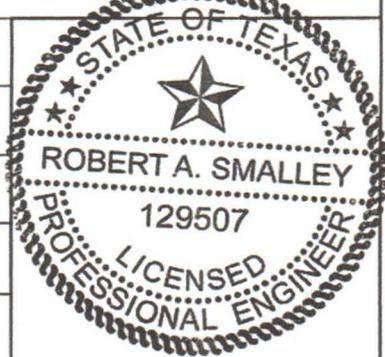
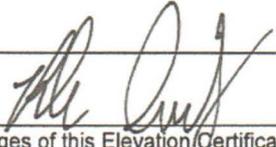
Check the measurement used.

- | | | | |
|---|--------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>103.3</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>111.7</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>103.1</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>103.1</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>102.6</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>103.0</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | <u>N/A</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name Rob Smalley	License Number 129507		
Title Registered Professional Engineer			
Company Name Atkinson Engineers			
Address 19575 Wied Road			
City Spring	State Texas		ZIP Code 77388
Signature 	Date 09/23/2019		Telephone (281) 872-7600

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

A/C Compressor on the east side of the house.

BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008
Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 15710 Seattle Street			Policy Number:
City Jersey Village	State Texas	ZIP Code 77040	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption

Front View



Photo Two

Photo Two Caption

Rear View











**CITY OF JERSEY VILLAGE
 CERTIFICATION OF PUBLIC HEARING POSTING REQUIREMENTS
 BOARD OF ADJUSTMENT - PUBLIC HEARING
 April 12, 2022 at 12:00 P.M.**

Reason for Public Hearing:

To receive written and oral comments from any interested person(s) concerning the request of Oscar G. Ortiz, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches for the property located at 15710 Seattle Street, Jersey Village, Texas 77040.

Owner	Street Address	City, State, Zip
Maria A Henry	15813 Singapore Lane	Jersey Village, TX 77040
Rebecca & Jason Rerr	15809 Singapore Lane	Jersey Village, TX 77040
Willilam G. Jr & Rachel Beazley	15805 Singapore Lane	Jersey Village, TX 77040
Jeremy D. & Lori Woods	15801 Singapore Lane	Jersey Village, TX 77040
Sandra Phelps	15713 Singapore Lane	Jersey Village, TX 77040
John & Marjorie Roberts	15709 Singapore Lane	Jersey Village, TX 77040
Mark P. & Dana Bowdoin	15705 Singapore Lane	Jersey Village, TX 77040
Steven E. & Lisa J. Aden	15701 Singapore Lane	Jersey Village, TX 77040
James R. & Patty M. Myron	15806 Seattle Street	Jersey Village, TX 77040
William P. & Beverly A. McLaughlin	15802 Seattle Street	Jersey Village, TX 77040
Heath A. & Bernadette Burttschell	15714 Seattle Street	Jersey Village, TX 77040
Oscar Ortiz	15710 Seattle Street	Jersey Village, TX 77040
Irma Gonzales	15706 Seattle Street	Jersey Village, TX 77040
Beverly McLaughlin	15702 Seattle Street	Jersey Village, TX 77040
John D. White	15618 Seattle Street	Jersey Village, TX 77040
Eric W. & Terri Ellison	15614 Seattle Street	Jersey Village, TX 77040
Gary W. Nesrsta	15809 Seattle Street	Jersey Village, TX 77040
Tairong Zheng	15805 Seattle Street	Jersey Village, TX 77040
Current Owner	15801 Seattle Street	Jersey Village, TX 77040
Robert G. & Janet G. Brown	15713 Seattle Street	Jersey Village, TX 77040
Theresa A. Schweiss	15709 Seattle Street	Jersey Village, TX 77040
Sherylyne M. Hollinger	15705 Seattle Street	Jersey Village, TX 77040
Katherine S. Rogers	15701 Seattle Street	Jersey Village, TX 77040

I, Lorri Coody, the duly appointed and acting City Secretary of the City of Jersey Village, Harris County, Texas, do hereby certify and attest that as part of my duties, I post official notices for the City of Jersey Village.

As such, on March 21, 2022, and in accordance with the Jersey Village Code of Ordinances Part II, Ch. 14, Art. X, Section 14-10 (b)(2)(a) written notices were mailed to adjacent property owners at least eleven (11) days prior to date of the Public Hearing. The property owners were mailed a written notice to the address listed in the following table:

Witness my hand and seal of the City this 21st day of March, 2022.

s/Lorri Coody, City Secretary



BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

CITY OF JERSEY VILLAGE
APPLICANT CERTIFICATION OF PUBLIC HEARING POSTING REQUIREMENTS
BOARD OF ADJUSTMENT – April 12, 2022 - 12:00 P.M.

Reason for Public Hearing:

To receive written and oral comments from any interested person(s) concerning the request of Oscar G. Ortiz, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches for the property located at 15710 Seattle Street, Jersey Village, Texas 77040.

I, Oscar G. Ortiz applicant and/or property owner, do hereby certify that:

On March 31, 2022, at least ten days prior to the date of the hearing, placed on the property at **15710 Seattle, Jersey Village, Texas** which is the subject of this hearing, signs indicating the type of relief sought or the proposed change in status of the property as well as the date, time and place of the hearing. The signs were placed at not more than 300-foot intervals across the property line fronting on the existing streets and were clearly visible from the streets. Each sign was located no more than ten feet from the property line and was no smaller than 18 inches by 24 inches,

All in accordance with Section 14-10(b)(2)(b) of the Jersey Village Code of Ordinances.

Signed this the 31 day of March, 2022.

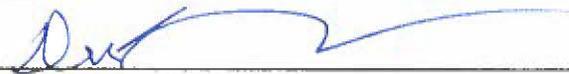


Oscar G. Ortiz - Applicant

THE STATE OF TEXAS §
COUNTY OF HARRIS §

BEFORE ME, the undersigned authority, this day personally appeared Oscar Ortiz, a person known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purpose and consideration therein expressed.

GIVEN UNDER my hand and seal of office this 31 day of March, 2022.



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



Script for BOA Public Hearings on April 12, 2022

Read Item E on the Agenda and confirm that all meeting posting requirements have been met - then say:

I now call to order this public hearing. Everyone desiring to speak shall give his name and address and will be given 5 minutes to present information during the meeting.

The purpose of today's hearing is to receive written and oral comments from any interested person(s) concerning the request of Oscar G. Ortiz, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches for the property located at 15710 Seattle Street, Jersey Village, Texas 77040.

Step 1: Call the applicant to present his case and all evidence supporting his plea

Step 2: Call the zoning official to present any information that he deems necessary or appropriate relative to the application

Step 3: Call on those opposed to the granting of the application to present their evidence and arguments

Step 4: Call the applicant for the right of rebuttal

Step 5: Order the hearing closed

(After everyone has spoken . . . or if no one desires to speak, finish the meeting with the following)

There being no one (else) desiring to speak, I now close this public hearing concerning the request of Oscar G. Ortiz, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches for the property located at 15710 Seattle Street, Jersey Village, Texas 77040.

BOARD OF ADJUSTMENT - CITY OF JERSEY VILLAGE, TEXAS - AGENDA REQUEST

AGENDA DATE: April 12, 2022

AGENDA ITEM: E1

AGENDA SUBJECT: Discuss and take appropriate action on the request of Oscar G. Ortiz, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches for the property located at 15710 Seattle Street, Jersey Village, Texas 77040.

Department/Prepared By: Lorri Coody, City Secretary

EXHIBITS: Application and Other Documents Included in PH Item
[Section 14-88](#) – Regulations for All Districts

BACKGROUND INFORMATION:

Oscar G. Ortiz, owner, has filed a request for variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches for the property located at 15710 Seattle Street, Jersey Village, Texas 77040.

The Board has previously conducted the Public Hearing in connection with this request. This item is to act upon the request.

The Board, in making its decision on this request for variance, must consider:

- if the request for variance is contrary to the public’s interest;
- if, due to special conditions, enforcement of Chapter 14, Article IV, Section 14-88(b) would result in an unnecessary hardship; and
- that in granting the variance, the spirit of this chapter would be upheld and observed.

In exercising its authority, the Board may consider the following as grounds, as presented by the applicant, to determine whether compliance with the ordinance as applied to a structure would result in unnecessary hardship:

- (1) the financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01, Tax Code;
- (2) compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur;
- (3) compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement;
- (4) compliance would result in the unreasonable encroachment on an adjacent property or easement; or
- (5) the municipality considers the structure to be a nonconforming structure.

RECOMMENDED ACTION:

Discuss and take appropriate action on the request of Oscar G. Ortiz, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 1, Section 14-88(b), to allow the applicant to encroach the 25-foot front setback by 3 feet 7 inches for the property located at 15710 Seattle Street, Jersey Village, Texas 77040.

Sec. 14-88. - Regulations that apply to all districts.

(a) *General regulations.*

- (1) No use of private or public property, whether it be residential, business, commercial or industrial, shall be permitted if that use is so obnoxious or offensive as to be reasonably calculated to disturb persons of ordinary temper, sensibilities and disposition by vibration, noise, view or the emission of odor, dust, smoke or pollution of any other kind.
- (2) No use of public street right-of-way or public sidewalk or adjacent property, either private or public, shall be permitted if that use inhibits or hinders the movement of normal traffic on that street or sidewalk.
- (3) City maintenance personnel must be allowed free access to utility easement and street rights-of-way so they can perform maintenance and repair of utility systems.
 - a. No buildings or structures of any type or size, other than fences, shall be permitted on utility easements.
 - b. If fences are located on utility easements, city maintenance personnel may remove such fences at any time for the purpose of gaining access to utility systems, and no liability will be incurred for damages to, repair of or replacement of such fences.
- (4) Any building which has been damaged by fire or other causes to the extent of more than 50 percent of its value shall be rebuilt in conformity with this article, as though it were a new building, or removed. This shall not apply to damaged structures outside the 100-year (one percent probability) floodplain, in regards to slab height, where the footprint of a structure is not modified and the slab is intact. The building shall be secured from entrance by any unauthorized persons within 24 hours after all embers are extinguished. A building permit is required before removal, repair or reconstruction commences which shall be started within 60 days of the date the damage occurs and shall be completed within a reasonable time, but not later than 150 days after the damage occurs. Before occupancy will be permitted a certificate of occupancy shall be required.
- (5) Whenever any street is abandoned, the boundaries of any districts that lie along one side of each street are automatically extended to the centerline of such street.
- (6) a. Recreational vehicles (manufactured or home-made) including, but not limited to, motor homes, mini-motor homes, travel trailers, 5th wheel trailers, camping trailers, boat trailers, other trailers used for recreational purposes only, truck campers, all terrain vehicles and all types of watercraft including boats (motorized or propelled by any other means) shall not be parked or stored in front or side yards in zoning districts A, C, C-2, or D except for temporary periods of time not exceeding seven days within a 30-day period. A recreational vehicle shall not be parked or stored in a rear yard in zoning districts A, C, C-2, or D unless such vehicle is screened from public view by a solid wood or opaque fence. Nothing in this ordinance is intended to preclude the construction of a properly permitted building that will enclose and screen recreational vehicles.

- b. A recreational vehicle or watercraft less than eight feet in height lawfully parked or stored on a lot in zoning districts A, C, C-2, or D on May 1, 2009 may continue to be parked or stored at such location until January 1, 2010. A recreational vehicle or watercraft greater than eight feet in height lawfully parked or stored on a lot in zoning districts A, C, C-2, or D on May 1, 2009 may continue to be parked or stored at such location until July 1, 2019. The owner of the recreational vehicle or watercraft must be the owner of the lot on which it is parked or stored; the recreational vehicle or watercraft must continue to be registered by the state; and a recreational vehicle must have a valid motor vehicle inspection certificate. The owner of a lot upon which a recreational vehicle or watercraft greater than eight feet in height was lawfully parked or stored on May 1, 2009 shall register such recreational vehicle or watercraft with the city secretary not later than July 15, 2009. Registration shall be under oath on a form furnished by the city secretary and shall be accompanied by photographs showing the recreational vehicle or watercraft, its location on the lot and its license plate or registration information. The owner may replace a recreational vehicle or watercraft registered under this section with another recreational vehicle or watercraft. The owner shall be issued a certificate with a brief description of the nonconformity which shall thereafter be considered evidence of the lawful continuation of the parking or storage of such recreational vehicle or watercraft.
- (7) a. Trucks and vans, larger than one ton in capacity, and self-propelled, self-powered, or pull-type equipment that weighs at least 3,000 pounds and that are intended to be used for commercial, agricultural, construction, or industrial uses, trailers and towed vehicles shall not be parked or stored in a front, side, or rear yard in zoning districts A, C, C-2, or D except during the act of loading or unloading and except in connection with the provision of services to the property at which it is parked.
- b. Truck tractors shall not be stored or parked in zoning districts A, B, C, C-2, M or D except during the act of loading or unloading.
- (8) No vehicle shall be parked or stored on an unpaved surface in a front or side yard in zoning districts A, B, C, C-2, M or D.
- (9) Vehicles held for sale, lease or rental in any business or industrial district shall not be parked or stored on unpaved surfaces.
- (10) No platted lot shall be reduced in size and no lot area shall be reduced or diminished so that the lot size or the yards shall be smaller than prescribed by this chapter. These regulations shall not apply in District D.
- (11) No individual water well or piping for such system shall be connected in any way to any public water supply system.
- (12) No oil, gas or other mineral exploration, production or drilling operations for minerals of any kind shall be conducted on any lot or parcel of land within the city except in zoning district H (industrial district).
- (13) Add-on construction. After a certificate of occupancy has been issued for a building in accordance with section 14-7(b), no add-on type of construction such as patio covers, carports, balconies, stoops, porches or any structural alteration of the building shall be made unless a new building permit is first obtained from the development officer in accordance with Chapter 14. The plans must be submitted

to and approved by the development officer. Requests for a building permit to allow add-on type construction or structural alteration of a building shall indicate that the proposed construction will be in harmony with the style of the original building.

- a. Where add-on construction to a single-family detached dwelling in district A involves structural alternation that will increase the square feet of enclosed living area on the ground floor, such add-on construction shall be permitted only to the side or rear of the existing dwelling, as space on the lot may allow while maintain conformance with the applicable standards for minimum side and rear building setbacks.
 1. Where such add-on construction will result in a finished building height that at any point exceeds the height of the front façade of the existing dwelling at any point, the add-on construction shall be permitted only to the rear of the existing dwelling.

(14) No permit for the erection, alteration, reconstruction, conversion or use of any building shall be issued by the development officer unless the plan required by Chapter 14 provides for a sidewalk to be constructed on all street sides of such building. This subsection shall apply to all districts of the city, with the exception of Block 42.

(15) Reserved.

(16) Reserved.

(17) Reserved.

(18) Buffering. Bufferyards will be required on the perimeter, or parts thereof, of a nonresidential development adjoining or surrounding residential developments in conjunction with the screening requirements provided below. Bufferyards shall be provided to protect the adjacent residential properties from environmental impact of the nonresidential facility such as visual blight, parking or roadway illumination, headlights, noise, blowing paper and dust and service areas. Bufferyards shall be provided according to the standards provided in Example 14-7. See also sections 14-310 and 14-311 for landscaping standards. These regulations shall not apply in District D.

(19) Screening.

- a. For development of nonresidential lots directly abutting and adjacent to residential zoning districts, an obscuring wall shall be required. The required wall shall be located inside the nonresidential lot lines abutting and adjacent to the residential zoning districts; provided, however, where a masonry wall has been constructed in a residential subdivision abutting nonresidential lots prior to development of the nonresidential lots, the masonry wall in the residential lots shall serve as the required screen and shall meet all requirements required of screens on nonresidential lots. Where a masonry wall of at least six feet in height exists in the residential lots abutting a nonresidential development, the nonresidential developer shall provide a buffer yard one and one-half times the width required elsewhere in this Code with two times the landscaping requirements in lieu of a second masonry wall.
- b. All walls shall be constructed of a solid unpierced masonry material with the surface facing the residential lots constructed of a

common or face brick, decorative block or similar material that is compatible with the principle buildings in the adjacent residential areas. Similar material shall not include smooth face concrete masonry blocks or units. Masonry walls shall be erected on a concrete foundation of adequate strength and shall be not less than four inches wider than the wall to be erected.

- c. No opening shall be permitted for access through the wall unless a solid gate equally the height of the wall is provided. Such gate shall remain closed at all times except when in actual use.
- d. The quality and type of materials used structurally for the walls shall conform with those specified in the building code which apply to foundation footing and supporting materials used in residential construction within the city.
- e. Any person causing an excavation to be made on property adjacent to an existing wall shall protect the excavation in such a manner so that the soil of the adjacent property will not cave in or settle causing damage to the existing wall.
- f. Walls shall be maintained to remain harmonious with the surrounding property by being repaired, rebuilt or replaced at intervals necessary to preserve the health, safety and welfare of the public. Notification of necessary maintenance will be by certified mail from the development officer to the current property owner who is responsible for the maintenance of the walls constructed.
- g. If such freestanding walls are not repaired, rebuilt or replaced within 60 days after receipt of such notification by certified mail that certain maintenance is deemed necessary for the health, safety and welfare of the public, such penalties for violation shall be enforced as established in this article and other legal recourse.
- h. The use of barbed wire, razor wire or any other similar material is not allowed.

These regulations shall not apply in District D.

- (20) Lighting of off-street parking areas and/or for external illumination of any building and grounds shall be arranged so that the source of light is concealed or shielded from public view and from adjacent residential properties and does not interfere with traffic. These regulations shall not apply in District D.
- (21) Temporary buildings shall be permitted only in connection with construction on the premises on which located, which buildings shall be removed upon completion or abandonment of the construction; real estate sales offices during development of residential subdivision in which they are located and limited to sales of property in such subdivisions; and educational, municipal or church functions operated for the benefit of the public. It shall be unlawful for any person to erect, construct, enlarge, place, locate or relocate any temporary building on premises within the city, or cause the same to be done, without first obtaining a building permit therefor in accordance with

section 14-114. It shall be unlawful for any person to use or occupy a temporary building without first obtaining a certificate of occupancy therefor in accordance with section 14-7(b). A certificate of occupancy shall be limited to the duration of the intended use not to exceed one year; provided, however, that the certificate of occupancy may be extended as follows:

- a. Where the temporary building is used for the contractors' offices, equipment storage, model homes and real estate sales offices for residential projects, the certificate of occupancy may be extended at one-year intervals until the project is 90 percent constructed; and
- b. Where the temporary building is for a use other than described in subsection (21)a of this section, the certificate of occupancy may be extended for one additional one-year period.

A temporary building shall be in compliance with the terms of the building code and all other applicable laws and ordinances. A temporary building shall not be used in any manner constituting a nuisance or interfering with the quiet enjoyment of the neighborhood. These regulations shall not apply in District D.

- (22) Maintenance, fabrication and repair of equipment or machinery and manufacturing, processing and assembly of materials, products and goods shall be performed only on a paved area located within the building lines of a lot, whether within or outside of a building.
- (23) Garbage and refuse containers in commercial and industrial zoning districts shall be screened from public view, from adjacent buildings and from adjacent property, public or private. Screens shall be permanent and opaque and of wood, metal or masonry material, shall be at least as high as the screened object and shall not be less than six feet high. These regulations shall not apply in District D.
- (24) Building permits are not required for "other free standing structures" as listed in subsection 14-101(6)b. provided that such structures shall have a building area of less than 25 square feet and provided that no utilities are installed. These regulations shall not apply in District D.
- (25) Fencing standards. Where chain link fencing is constructed within the city, the fencing material should be a minimum of four feet in height and a maximum of six feet in height. All fencing four feet in height shall be a minimum of 11 gauge galvanized material and all fencing higher than four feet shall be a minimum of nine gauge galvanized material. The use of barbed wired, razor wire or similar material shall not be allowed in residential zoning districts. Barbed wire and razor wire may be used in commercial and industrial districts in combination with the above approved fencing material and shall be installed on top of the fence with the total height above ground not to exceed seven feet. These regulations shall not apply in District D.
- (26) A nonresidential building may not be erected on a lot abutting a subdivision containing residential structures closer to the subdivision than 50 feet for a one-story building, 100 feet for a two-story building, or 150 feet for a three or more-story building. These regulations shall not apply in District D.

- (27) No sleeping quarters other than those within a permanent residential structure, hotel or motel shall be used for longer than seven days within a 30-day period; provided that a recreational vehicle or portable building may be used for temporary housing and sleeping quarters by a person whose residence is uninhabitable as a result of flood, fire or environmental conditions if parked on a paved surface on a private property and with appropriate sewer and electrical connections. No person shall occupy a recreational vehicle or portable building for temporary housing and sleeping quarters without first receiving a permit for such use from the building official. The building official shall issue a permit if the conditions set forth herein are met. The permit shall be valid for the period of time necessary to restore the residence to habitability, as determined by the building official, but not to exceed 120 days. Any extension to such permit will require approval of the building official and director of public works. These regulations shall not apply in District D.
- (28) Any finished floor that is elevated more than 12 inches above natural grade shall be provided with a dropped brick ledge or dropped veneer so as to leave no more than eight inches of slab exposed. All crawl spaces resulting from pier-and-beam and stem-wall types of construction must provide dropped veneers with vents sufficient to cover the sub-slab void.
- (b) *Building setbacks.* Unless otherwise specifically provided elsewhere in this article, all buildings and structures located in a district within the city shall conform to the following setbacks (as measured from the property line):

Lot Line	Setback (In Feet)	Modifier
Front	25	—
Rear	25	(1) Excluding fencing
Side street	10	(1) 25 feet where one or more lots have frontage on the street.
Side	7½	(2) Zero feet for townhouses and one side of patio homes.

(Ord. No. 95-04, § 1(302), 2-20-95; Ord. No. 96-08, § 2, 6-17-96; Ord. No. 97-04, §§ 1, 2, 4-21-97; Ord. No. 99-05, §§ 2—4, 2-15-99; Ord. No. 99-31, §§ 2—5, 11-15-99; Ord. No. 00-26, § 1, 8-21-00; Ord. No. 01-30, §§ 3, 7, 10-15-01; Ord. No. 02-16, § 1, 7-15-02; Ord. No. 03-17, §§ 1, 2, 4-21-03; Ord. No. 04-06, § 1, 3-15-04; Ord. No. 04-08, § 2, 5-17-04; Ord. No. 04-25, § 1, 12-20-04; Ord. No. 2006-5, § 1, 3-20-06; Ord. No. 2006-8, § 1, 2-20-06; Ord. No. 2008-22, § 1, 7-21-08; Ord. No. 2009-22, §§ 1, 2, 5-18-09; Ord. No. 2011-14, § 1(Exh. A), 3-21-11; Ord. No. 2011-25, §§ 9—11, 5-23-11; Ord. No. 2013-46, § 2(Exh. A), 12-16-13; Ord. No. 2017-55, § 2, 12-18-17; Ord. No. 2019-29, § 2, 6-17-19)

BUFFERYARD STANDARDS

REQUIRED PLANT UNITS/100'

- 3 Canopy Trees 
- 6 Understory Trees 
- 9 Shrubs 

Note: To determine the total number of required plant units per 100 yard of bufferyard take the plant unit multiplier appropriate for the width of the bufferyard and multiply by number required for each plant type. Always round to the nearest whole number.

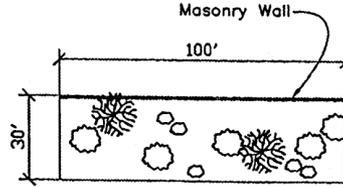
Example: To determine number of required canopy trees for 100' long and 25' wide bufferyard:

$$0.8 \times 3 = 2.4$$

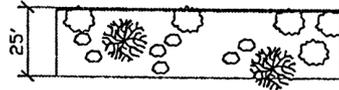
Assume 2 canopy trees.

Plant Unit
Multiplier

.6



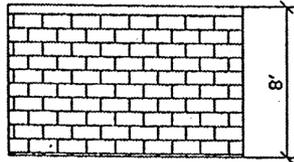
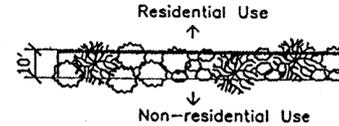
.8



.9

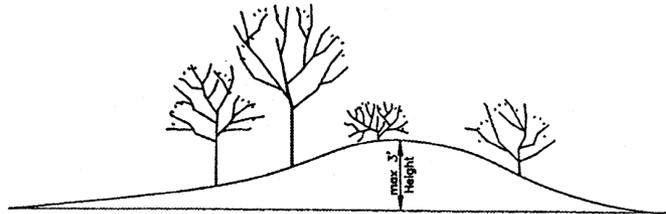


1



Masonry Wall (Obscuring Wall)
(Common or face brick, decorative block, etc., decorative side facing residential lots)

BERMS



Example
14 - 7

Example 14-7 Bufferyard Standards

BOARD OF ADJUSTMENT - CITY OF JERSEY VILLAGE, TEXAS - AGENDA REQUEST

AGENDA DATE: April 12, 2022

AGENDA ITEM: F

AGENDA SUBJECT: Conduct a Public Hearing on the request of Jim Girouard, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet for the property located at 15714 Tenbury Street, Jersey Village, Texas 77040.

Department/Prepared By: Lorri Coody, City Secretary

EXHIBITS: [Application](#)
[City's Certification](#) of Public Hearing Posting Requirements
[Applicant's Certification](#) - Posting Requirements
[PH Script](#)
[Property Owner Responses](#)

BACKGROUND INFORMATION:

Jim Girouard, owner of the property located at 15714 Tenbury Street has filed a request for variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet.

Before the Board can consider the application for this variance, it must conduct a public hearing in order to receive written and oral comments from any interested person(s) concerning Jim Girouard's request.

This item is to conduct the public hearing.

RECOMMENDED ACTION:

Conduct a Public Hearing on the request of Jim Girouard, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet for the property located at 15714 Tenbury Street, Jersey Village, Texas 77040.

BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

From: noreply@municipalonlinepayments.com
To: [Ashley Lopez](#); [Isabel Kato](#)
Subject: Building Projects Payment Notification
Date: Wednesday, March 9, 2022 10:18:43 AM



ONLINE PAYMENTS!

This is your payment receipt.

Confirmation Number
J5QFHNR5R

Payment Date
3/9/2022 10:17 AM

Project	Segment	User's Email	Amount paid
15714 TENBURY ST TUFF SHED INC #0000009275	MISCELLANEOUS CONVERTED TUFF SHED INC	jester@tuffshed.com	\$300.00

[Municipal Online Services](#)

[Login](#)

BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

CITY OF JERSEY VILLAGE
Application for Request for Variance

\$1,000 non-refundable deposit due upon submission of the request with additional invoicing in accordance with Sec. 2-142(4)(c).

PROPERTY INFORMATION

Address: 15714 TENBURY ST.
Legal Description: Lot 15 Block: 69 Subdivision: CLUB ESTATES

APPLICANT INFORMATION

(If different than owner, application must be accompanied by an Appointment of Agent Affidavit)

Applicant: JIM GIROUARD Phone: (832) 768-1996
Address: 15714 Tenbury St
City: Jersey Village State: TX Zip: 77040

OWNER INFORMATION

JIM GIROUARD (832) 768-1996
Property Owner Telephone Number
15714 TENBURY ST. TX 77040
Street Address City State Zip Code

Describe variance sought: To build NEW ACCESSORY BUILDING,
720 sq ft ± 13'-7 1/4" HEIGHT WHICH EXCEEDS
MAX SIZE REQUIREMENT IN 14-101, TABLE 14-1

Describe existing standard: TABLE 14-01-01 STATE NEW UTILITY BUILDING
CAN ONLY BE 8' HIGH, 100 sqft,
SEE ATTACHED TABLE 14-1

BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

In accordance with Section 14-9 of the City of Jersey Village Code of Ordinances, to obtain a variance the application must meet the following criteria:

(1) What special conditions and circumstances exist which are peculiar to the land, structure, or building involved which are not applicable to other lands, structures or buildings in the same district?

Please SEE Attached

(2) Why does the literal interpretation of the provisions of this Code result in unnecessary hardship? Unnecessary hardship is due to exceptional narrowness, shallowness, shape, topography or other extraordinary or exceptional physical situation or physical condition unique to the specific piece of property in question. "Unnecessary hardship" shall mean physical hardship relating to the property itself as distinguished from a hardship relating to convenience, financial considerations or caprice, and the hardship must not result from the applicant or owner's own action.

Please SEE Attached

(3) Are the special conditions and circumstances the result of the actions of the applicant? (i.e. can the size of the structure be changed to meet the requirements of the Code.)

Please SEE Attached

(4) Does granting the variances as requested confer on the applicant any special privilege that is denied by the Code to other lands, structures, or buildings in the same district?

Please SEE Attached

Jim Girouard
Signature of Applicant

12-25-21
Date

REQUESTS MUST BE SUBMITTED NO LATER THEN 4:30 P.M. SIXTEEN (16) DAYS PRIOR TO THE OFFICIAL MEETING DATE.

OFFICE USE ONLY	
Received by: _____	Date: _____
Fee paid (amount): \$ _____	

- (1) Special conditions; Elevation Certificate, included, dated (2-8-19), Flood Risk Zone AE. According to neighbors across the street, John Demny, (713) 825-0379, 15709 Tenbury, a 27 year JV resident and Jim Pulliam, (713) 983-0932, 15713 Tenbury, a 26 year JV resident, witnessed my home with 1" of water during Hurricane Allison 2001. The detached garage is lower, thus had more water. Both residents witnessed the wet carpet being removed from the home by the homeowner. My variance structure will be 14" above current ground, to store and protect my lawn equipment, Senior health (exercise) equipment, hobby tools, and general storage, additionally freeing up my current garage to park my car. Proposed raised structure, noted in engineering specs.
- (2) Unnecessary hardship; topography, Flood Zone AE. With current global, catastrophic, unpredictable, climate changes, the variance effort, affords this property owner the right to "Protect" his property (assets) against potential unpredictable flooding, (lawn, Senior health, hobby equip.), in a structure higher than existing garage. In spite of bayou improvements, FEMA makes no guarantee and nature, has proven itself as a matter of JV history!
- (3) No
- (4) The variance requested is as 3 similar precedence's in JV. Photos included. 2 similar yard structures located, at 16529 and 16534 DeLozier, with detached garages. Both yard structures are noticeable in either from direction from Rio Grande and DeLozier, creating what may be considered by some, as a property imbalance. The 3rd precedent, with detached garage is at 16026 Singapore and cannot be seen from the street. Included are satellite photos of 2 structures in the back yard. Similarly my proposed variance structure will not be seen from the street.

Conclusion; Please honor my request and grant permit to proceed.

Sincerely,


Jim Girouard

TABLE 14-1

EXPAND

		Height (feet)	Maximum Size (square feet)
1.	Utility structure	8	100
2.	Greenhouse	12	200
3.	Pet house	<u>4</u>	50
4.	Hobby structure	12	200
5.	Playhouse	12	200
6.	Gazebo	15	500
7.	Cabana or dressing room	12	200
8.	Pool cover	15	not applicable

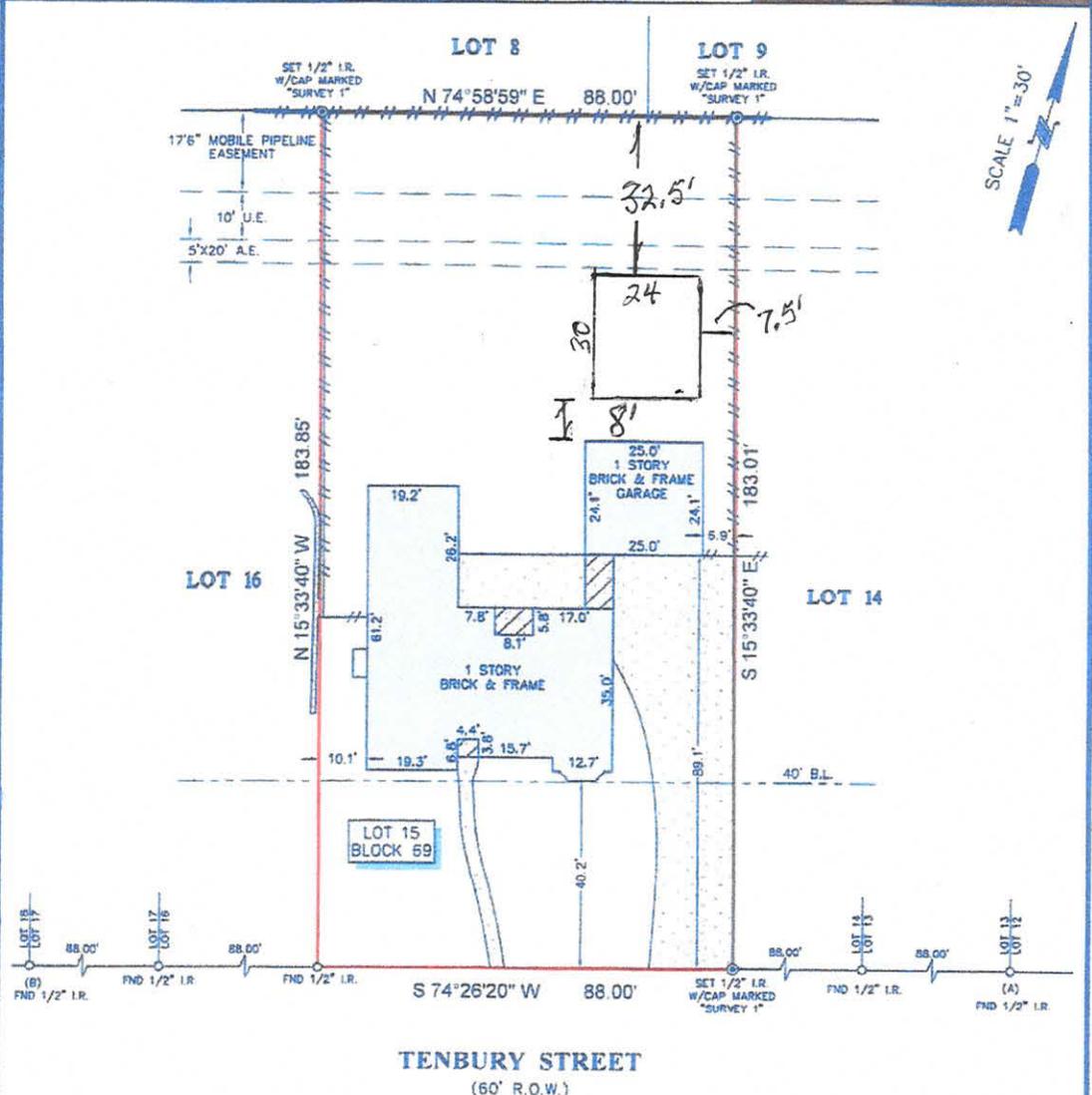


TITLE COMPANY:

Fidelity National Title
Insurance Company

713-622-5732

G.F. #: FTH-21-FAH19000758 ISSUE DATE: FEBRUARY 1, 2019



LEGEND

— FENCE

--- WOOD

B.L. = BUILDING LINE
U.E. = UTILITY EASEMENT
A.E. = AERIAL EASEMENT

□ CONCRETE

▨ COVERED AREA

▭ BRICK WALL

- NOTES:**
1. ALL BEARINGS SHOWN HEREON ARE REFERENCED TO THE SUBDIVISION PLAT NAMED BELOW. POINTS (A) AND (B) WERE HELD FOR HORIZONTAL CONTROL.
 2. ABSTRACT INFORMATION FOR THE SUBJECT TRACT WAS PROVIDED BY THE TITLE INSURANCE COMPANY LISTED ABOVE.
 3. THIS SURVEY IS CERTIFIED TO THE TITLE INSURANCE COMPANY LISTED ABOVE FOR THIS TRANSACTION ONLY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 4. ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.
 5. THERE ARE NO NATURAL DRAINAGE COURSES ON SUBJECT PROPERTY.
 6. SUBJECT TO THE RESTRICTIVE COVENANTS AS LISTED IN SCHEDULE B OF THE TITLE COMMITMENT ISSUED ON FEBRUARY 1, 2019, UNDER G.F. NO. FTH-21-FAH19000758.
 7. AN AGREEMENT WITH H.L.A.P. FOR UNDERGROUND/OVERHEAD ELECTRIC SERVICES DISTRIBUTION AS RECORDED UNDER G.F. NO. F850726.

LEGAL DESCRIPTION: LOT 15, BLOCK 69, OF JERSEY VILLAGE, COUNTRY CLUB ESTATES, SECTION VI, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 267, PAGE 41 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.



SURVEYORS CERTIFICATE

IN MY PROFESSIONAL OPINION, THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND DURING THE COURSE OF A BOUNDARY SURVEY CONDUCTED UNDER MY SUPERVISION ON FEBRUARY 2, 2019 AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING; AND THAT THERE ARE NO ENCUMBRANCES OR PROTRUSIONS EXCEPT AS SHOWN.

RICHARD FUSSELL
RPLS 4148

CLIENT: ESTEBAN CASTILLO

ADDRESS: 15714 TENBURY STREET

www.survey1inc.com
survey1@survey1inc.com

Survey 1, Inc.
Your Land Survey Company

Firm Registration No. 100758-00
P.O. Box 2543 | Alvin, TX 77512 | (281)393-1382

FIELD CREW: BM TECH: SF

DRAFTER: MC/RM FINAL CHECK: EF

DATE: FEBRUARY 11, 2019

JOB#: 2-70121-19

BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022



BBG CONSULTING, INC.

<u>Project Address</u>	15714 Tenbury Street
<u>Type</u>	Storage Building
<u>Square Footage</u>	720
<u>Codes</u>	2018 International Codes
<u>Wind Load</u>	131 mph as adopted by the City of Jersey Village
<u>Date Reviewed</u>	2/18/2022 – Revised comment letter

Plan Review Comments

1. Please see the maximum square footage allowed for a hobby structure.
2. Provide a structure that maximum height is 12' or lower.

Building setbacks.

(3) *Location on lot.*

The setbacks established in [section 14-88\(b\)](#) may be modified as follows: Except as provided by subsections b, c and d hereof, detached private garages and other freestanding structures shall not be located on any lot closer than 70 feet to the front lot line, three feet to a side lot line, ten feet to a rear lot line, ten feet to a side street line or ten feet to the single-family dwelling. Detached private garages and other freestanding structures exceeding one story in height shall not have second story openings facing the nearest side or rear lot line, except as may be required to comply with standards for emergency access and egress.

	Height (feet)	Maximum Size (square feet)
1. Utility structure	8	100
2. Greenhouse	12	200
3. Pet house	<u>4</u>	50
4. Hobby structure	12	200
5. Playhouse	12	200
6. Gazebo	15	500
7. Cabana or dressing room	12	200
8. Pool cover	15	not applicable

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION						FOR INSURANCE COMPANY USE
A1. Building Owner's Name Esteban Castillo Job#2-70121-19						Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 15714 Tenbury Street						Company NAIC Number:
City Jersey Village		State TX		ZIP Code 77040		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 15 Block 69, Jersey Village County Club Estates Section 6						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential						
A5. Latitude/Longitude: Lat. <u>29° 53' 40.1"N</u> Long. <u>95° 33' 33.1"W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983						
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number <u>1B</u>						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft						
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>						
c) Total net area of flood openings in A8.b <u>N/A</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
A9. For a building with an attached garage:						
a) Square footage of attached garage <u>602</u> sq ft						
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>						
c) Total net area of flood openings in A9.b <u>0</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number City of Jersey Village 480300				B2. County Name Harris		B3. State TX
B4. Map/Panel Number 48201C 0495	B5. Suffix M	B6. FIRM Index Date 1-6-17	B7. FIRM Panel Effective/ Revised Date 6-9-14	B8. Flood Zone(s) See Sec D	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 105.2'	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____						
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input checked="" type="checkbox"/> Other/Source: <u>NAVD 1988/2001 ADJ</u>						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 15714 Tenbury Street			Policy Number:
City Jersey Village	State TX	ZIP Code 77040	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

- C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.
- C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
Benchmark Utilized: RM-110118 Vertical Datum: NAVD 1988/2001 ADJ

Indicate elevation datum used for the elevations in items a) through h) below.

- NGVD 1929 NAVD 1988 Other/Source: NAVD 1988/2001 ADJ

Datum used for building elevations must be the same as that used for the BFE.

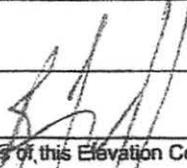
Check the measurement used.

- | | | | |
|---|---------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawspace, or enclosure floor) | <u>104.50</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>104.41</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>104.30</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>103.6</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>104.2</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name Richard Fussell	License Number 4148		
Title R.P.L.S			
Company Name Survey 1, Inc., Firm Number #100758-00			
Address 2408 Mustang Road			
City Alvin	State TX	ZIP Code 77511	
Signature 	Date 2-8-19	Telephone 281.393.1382	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

- Centerline street elevation - 101.83'
- TBM Elevation - 101.83'
- TBM Location - Mag nail in centerline of Tenbury Street at the center of property
- C2e used for A/C
- B8. Flood Zone(s) - X (No BFE), X "Shaded" (No BFE), AE (105.2' BFE)

BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 15714 Tenbury Street			Policy Number:
City Jersey Village	State TX	ZIP Code 77040	Company NAIC Number

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1-2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

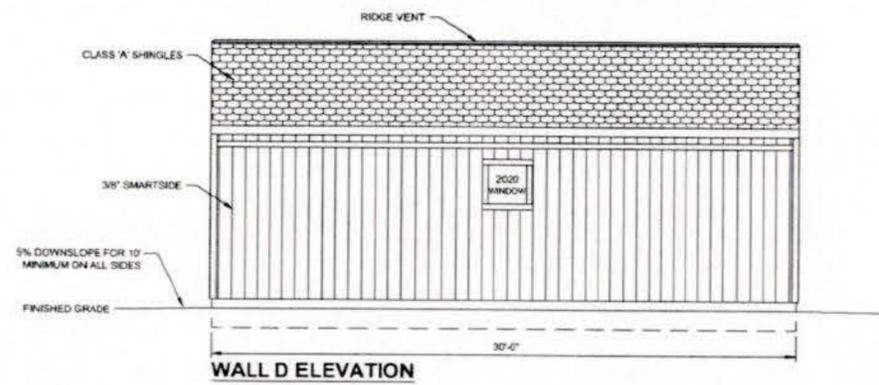
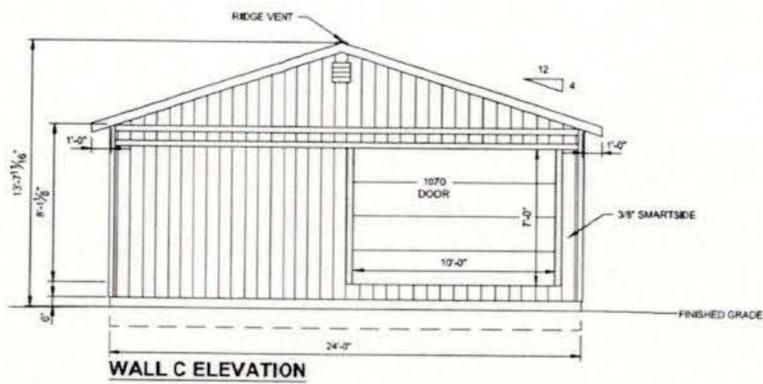
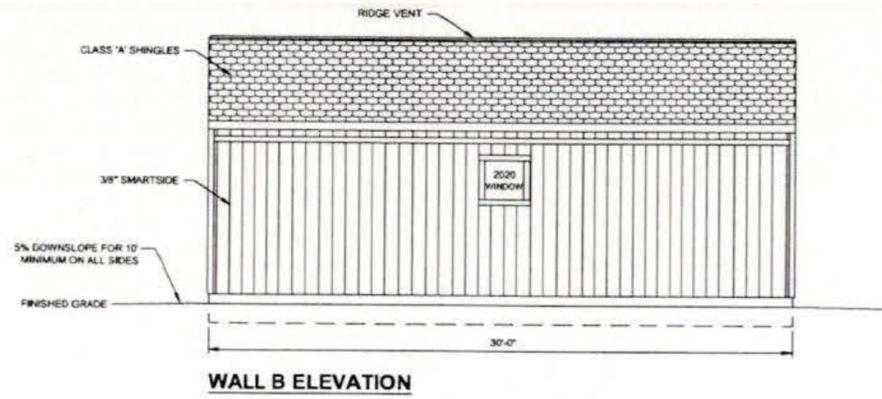
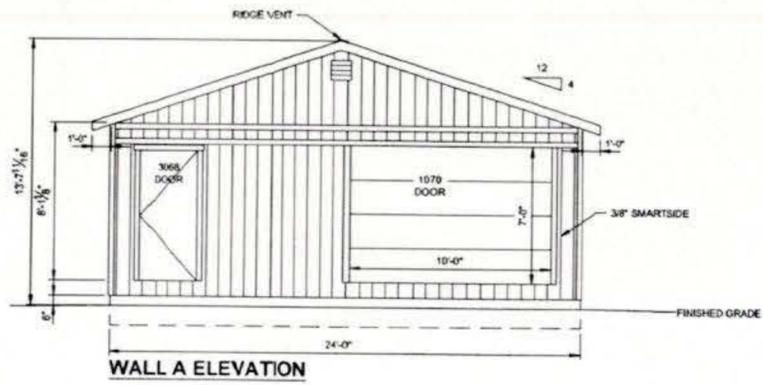
The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name			
Address	City	State	ZIP Code
Signature	Date 2-8-19	Telephone	

Comments

Check here if attachments.

BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022



McGINNIS & ASSOCIATES
 CONSULTING ENGINEERS, INC.
 1110 WESTMARK DRIVE
 SAINT LOUIS, MISSOURI 63111
 PHONE: (314) 835-1224
 #3690

PO No. 1689464
 Customer: JIM GHOJARD
 Description:
 ACCESSORY BUILDING
 24' X 30' = 720 SQ FT
 3574 TEBULARY ST
 JERSEY VILLAGE, TX 77040

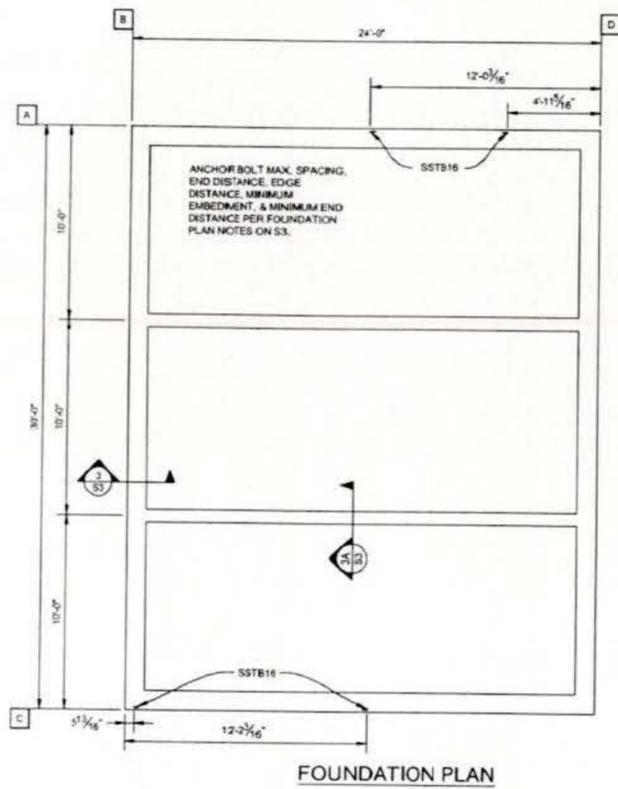
THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY BOTH TUFF SHED AND THE ENGINEER OF RECORD, McGinnis & Associates.

TUFF SHED
 Storage Buildings & Garages
 TUFF SHED, INC.
 14000 N. 1700
 HOUSTON, TX 77077
 (713) 266-0000
 TUFF SHED, INC. IS AN EQUAL OPPORTUNITY EMPLOYER.
 ALL RIGHTS RESERVED

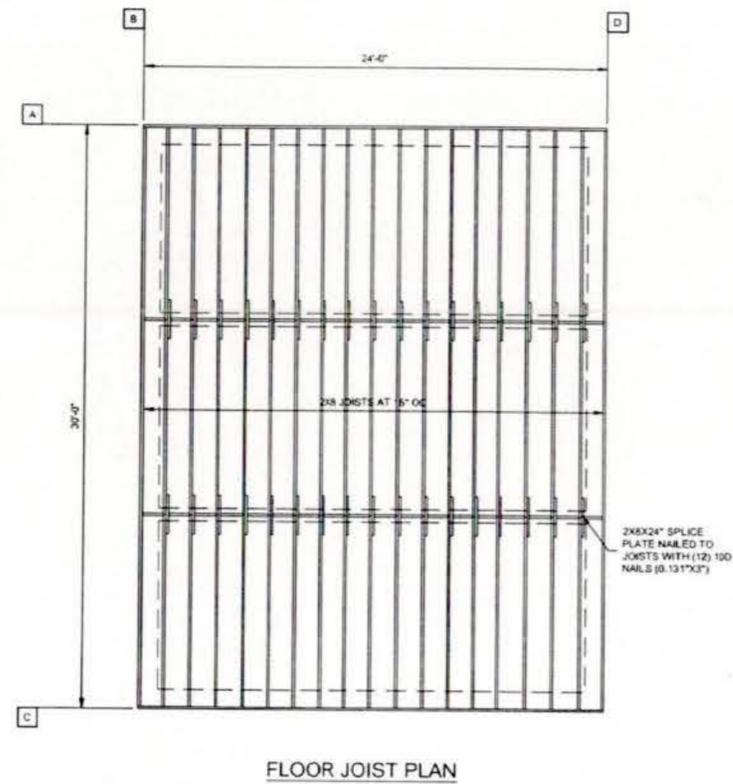
Drawn By: PK
 Date: 9/14/21
 Checked By: SC
 Date: 10/14/21
 Revised:
 Revised:

Title:
 PROJECT NOTES
 ELEVATIONS
 Scale: 1/4" = 1'-0"
 Sheet:

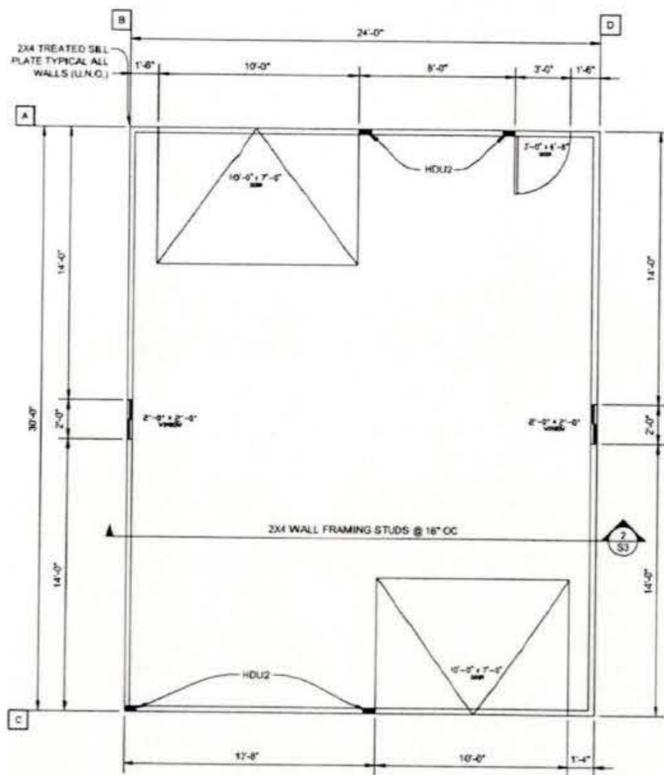
S1
 Sheet 1 of 3



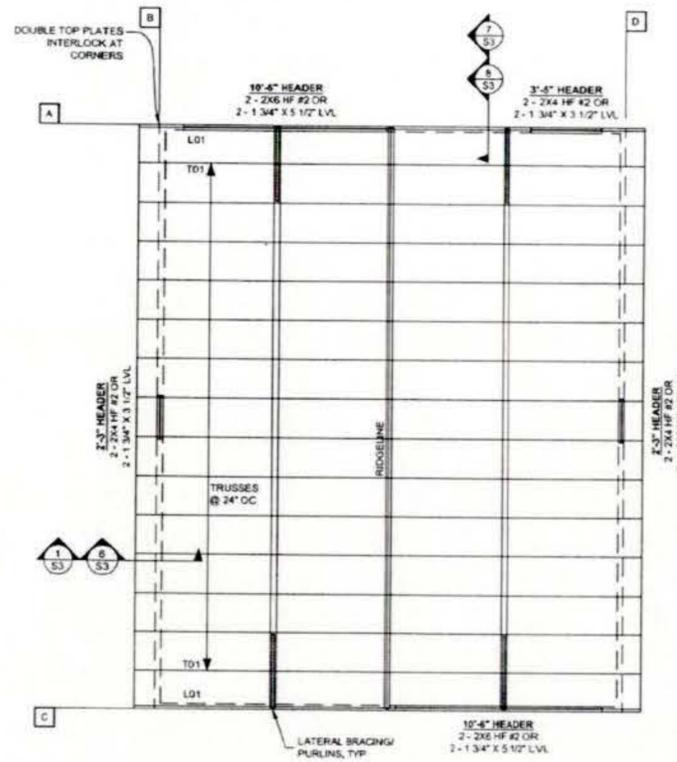
FOUNDATION PLAN



FLOOR JOIST PLAN



FLOOR PLAN



ROOF FRAMING PLAN



McGINNIS & ASSOCIATES
 CONSULTING ENGINEERS, INC.
 1110 WESTMARK DRIVE
 SAINT LOUIS, MISSOURI 63111
 PHONE: (314) 853-1224

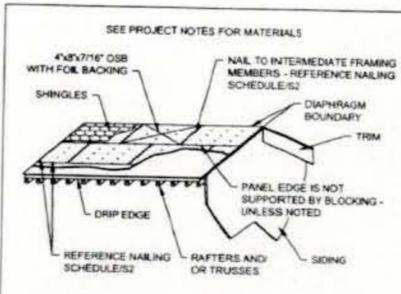
PO No. 1689464
 Customer: JIM GIROUARD
 Description:
 ACCESSORY BUILDING
 24' X 30' = 720 SQ FT
 Site Address:
 15714 TENBURY ST
 JERSEY VILLAGE, TX 77040

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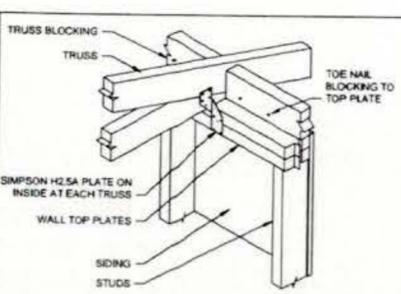


Drawn By: PK
 Date: 9/14/21
 Checked By: SC
 Date: 10/14/21
 Revised:
 Revised:
 Title:
 PLANS
 SHEAR WALL SCHED
 NAILING SCHEDULE
 Scale: 1/4" = 1'-0"
 Sheet:

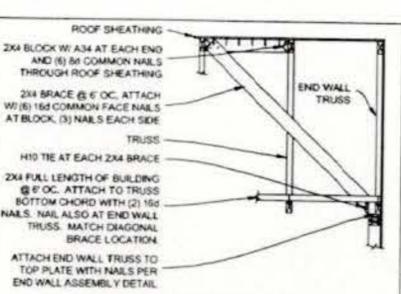
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 Sheet 2 of 3



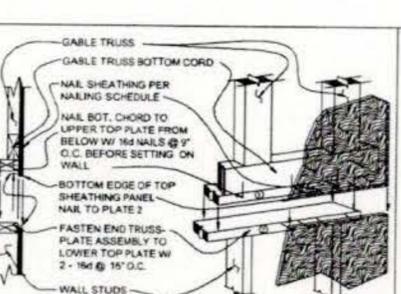
5 ROOFING SHEATHING NAILING DTL



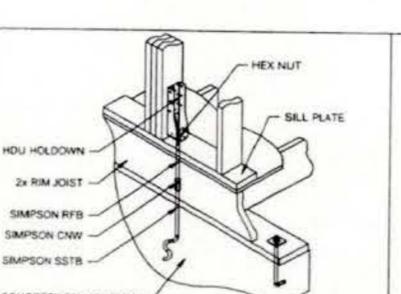
6 H2.5A RANCH TRUSS ATTACHMENT DETAIL WITH BOTTOM CHORD



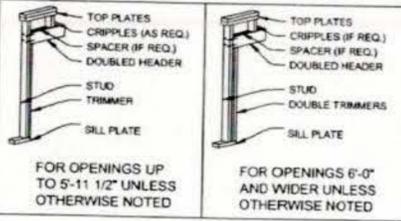
7 LATERAL BRACING/PURLIN DETAIL NOT TO SCALE



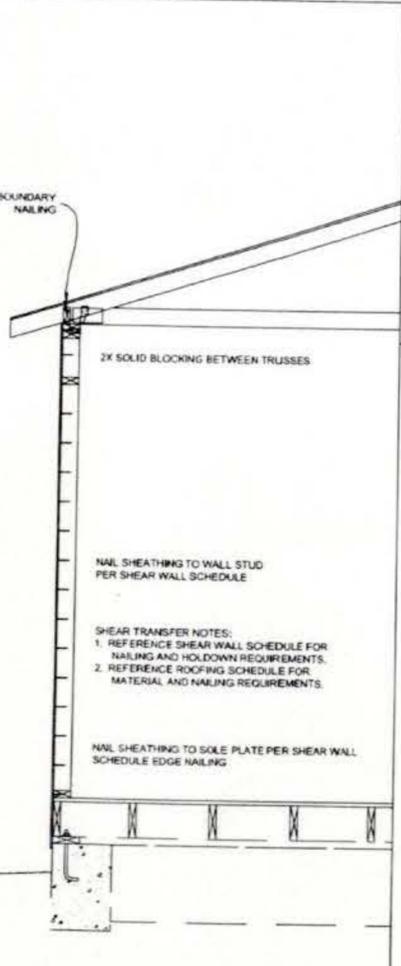
8 ENDWALL ASSEMBLY DETAIL



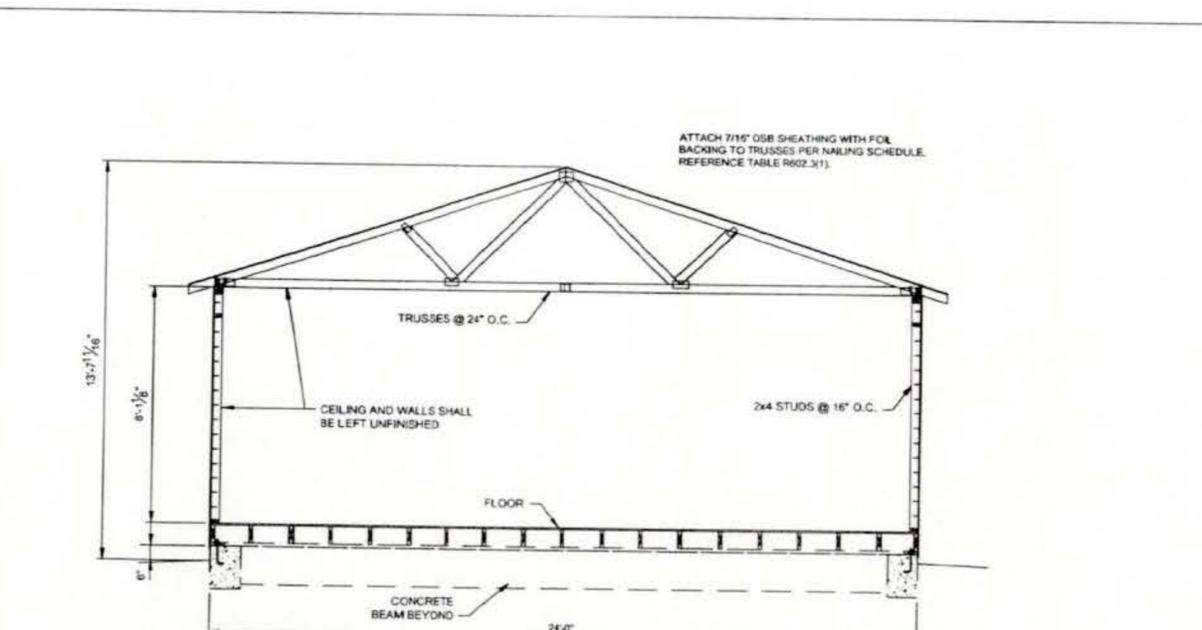
9 HDU W/ RFB, CNW, AND SSTB NOT TO SCALE



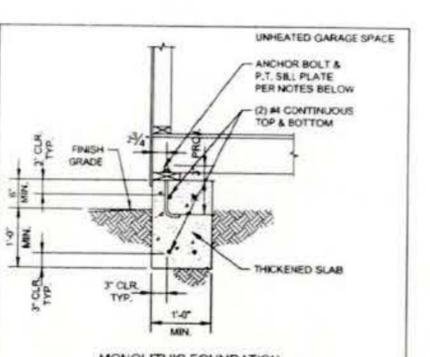
4 HEADER DETAIL NOT TO SCALE



1 SHEAR TRANSFER DETAIL 3/4" x 1'-0"



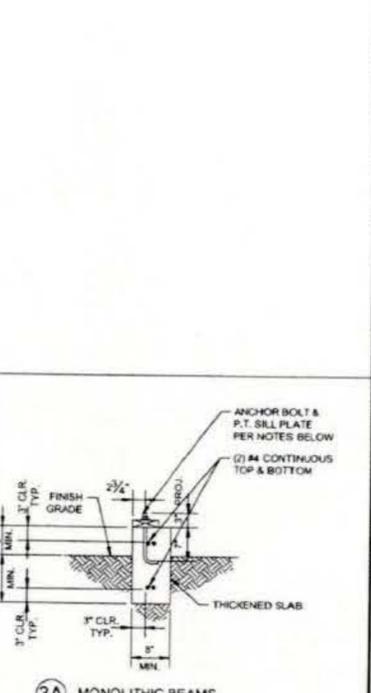
2 BUILDING SECTION 3/8" x 1'-0"



3 CF-1 FOUNDATION DETAIL 3/4" x 1'-0" @ 1/16" SIGN - IRC

CONTINUOUS FOOTING NOTES:

1. ALL FOOTING FORMS SHALL BE INSPECTED FOR SIZE AND REINFORCING BEFORE POURING CONCRETE.
2. FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL, COMPACTED SOIL OR PROPERLY COMPACTED STRUCTURAL FILL. ALLOWABLE SOIL BEARING PRESSURE IS 1500 PSF AT 12" BELOW GRADE.
3. CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH 10,000 PSI.
4. REINFORCING STEEL: A615, GRADE 40 OR GRADE 60. ALL REINFORCING STEEL SHOWN TO BE CONTINUOUS MAY BE LAPPED A MINIMUM OF 3 BAR DIAMETERS OR 36".
5. SEISMIC DESIGN CATEGORY: A
6. ATTACH PRESSURE TREATED SILL PLATE TO THE FOOTING USING 1/2" DIA. x 18" LONG 1" BOLTS WITH NUTS AND WASHERS.
7. ANCHOR BOLTS SHALL BE EMBEDDED AT LEAST 7" INTO THE CONCRETE AND SHALL BE SPACED NOT MORE THAN 6" O.C.
8. THERE SHALL BE A MINIMUM OF 2 BOLTS PER SILL PLATE PIECE WITH 1 BOLT LOCATED NOT MORE THAN 12" NOR LESS THAN 7 BOLT DIAMETERS FROM EACH END OF EACH PIECE.



3A MONOLITHIC BEAMS

McGinnis & Associates
 CONSULTING ENGINEERS, INC.
 1110 WESTMARK DRIVE
 SAINT LOUIS, MISSOURI 63131
 PHONE: (314) 833-1234

PO No. 1688484
 Customer: JIM GROGARD
 Description: ACCESSORY BUILDING
 50x70' A.S.D. = 720 SQ FT
 50x14' A.S.D. = 700 SQ FT
 15714 TENNENBURY ST
 JERSEY VILLAGE, TX 77040

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY BOTH TUFF SHED AND THE ENGINEER OF RECORD. McGinnis & Associates.

TUFF SHED
 Storage Buildings & Garages
 TUFF SHED, INC.
 HOUSTON, TX 77022
 (713) 886-8881

Drawn By: PK
 Date: 9/14/21
 Checked By: SC
 Date: 10/14/21
 Revised:
 Title:
 SECTIONS
 DETAILS
 Scale: NONE
 Sheet:
S3
 Sheet 3 of 3

ACCESSORY BUILDING
24' X 30' = 720 SQ FT

DRAWING INDEX
S1 - PROJECT NOTES, ELEVATIONS
S2 - PLANS, SHEAR WALL SCHEDULE
S3 - SECTIONS, DETAILS

PROJECT NOTES

- DESIGN REQUIREMENTS**
- GOVERNING CODES: 2018 IRC
OCCUPANCY REQUIREMENTS: GROUP U
CONSTRUCTION TYPE: V-B
 - DESIGN SCHEDULE
 - BUILDING SIZE
WIDTH: 24'-0"
LENGTH: 30'-0"
SIDE WALL HEIGHT: 8'-1 1/8"
TOTAL HEIGHT: 13'-7 3/4"
 - BUILDING LOADS
ROOF LIVE LOAD: 20 PSF
ROOF DEAD LOAD: 10 PSF
FLOOR LIVE LOAD: 40 PSF
FLOOR DEAD LOAD: 10 PSF
 - DESIGN WIND
BASIC WIND SPEED, V: 135 MPH
WIND EXPOSURE: C
 - SEISMIC DESIGN CATEGORY: A
 - SITE CLASS: D
 - ROOF PITCH: 4/12
 - ROOFING SCHEDULE
 - ROOF SHEATHING SHALL BE APA RATED 7/16" THICK OSB WITH FOIL BACKING, STAGGER LAYOUT PER APA CONDITION 1.
 - PI #24/18 MIN UNBLOCKED.
 - SHEATHING NAILING SHALL BE PER NAILING SCHEDULE.
 - 25 YEAR ASPHALT SHINGLES (U.N.O.).
 - GAF FELT/TRUSTER.
 - TYPE 'D' METAL DRIP EDGE FLASHING REQUIRED ALL SIDES.
 - TRUSSES SHALL BE SPACED @ 24" OC.
 - SEE SEPARATE TRUSS SHEETS FOR TRUSS FRAMING AND MATERIALS.
 - TRUSSES MUST BE BRACED ACCORDING TO THE LATEST EDITION OF THE BUILDING COMPONENT SAFETY INFORMATION "GUIDE TO GOOD PRACTICES OF METAL PLATE CONNECTED WOOD TRUSSES" (BCSI).
 - TRUSS CONNECTION PLATES 'EAGLE METAL PLATES'.
 - THE TRUSS PLATE INSTITUTE (TPI) (NER QA-430) IS THE INSPECTION AGENCY RESPONSIBLE FOR IN-PLANT INSPECTIONS.
 - TRUSS MANUFACTURER: TUFF SHED, INC.
 - WOOD FRAMING
 - ALL HEADERS ARE HEM-FIR (HF) #2 (U.N.O.).
 - ALL WALL FRAMING MEMBERS SHALL BE HEM-FIR (HF) STUD GRADE OR BETTER.
 - STUDS SHALL BE SPACED @ 16" OC.
 - FASTEN EXTERIOR WALL SHEATHING TO FRAMING PER NAILING SCHEDULE.
 - PROVIDE SOLID BLOCKING AT ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS.
 - SHEAR WALL MATERIAL SHALL BE AS SPECIFIED IN SHEAR WALL SCHEDULE.
 - SHEAR WALL NAILING SHALL BE AS SPECIFIED IN SHEAR WALL SCHEDULE.
 - LAMINATED VENEER LUMBER (LVL) SHALL BE LVL 2.0E-2600 F_v WITH THE FOLLOWING MIN. DESIGN VALUES: F_v = 2600 PSI, F_t = 1555 PSI, F_c = 265 PSI, F_{ax} = 2510 PSI, F_{ax} = 1750 PSI, E = 2.0 x 10⁶ PSI, SG = 0.50
 - SOIL
 - MIN. REQUIRED SOIL TYPE SHALL BE CLAY, SANDY CLAY, SILTY CLAY, OR CLAYEY SILT (CL, ML, MH & CH). PRESCRIPTIVE ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN IS 1500 PSF AT 12" DEEP. VALUES ARE PER TABLE R401.4.1.
 - IN THE EVENT OF THE DISCOVERY OF EXPANSIVE SOILS, THE SERVICES OF A SOILS ENGINEER MAY BE REQUIRED.
 - ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATURAL SOIL.
 - IN THE EVENT EXCAVATIONS REVEAL UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER MAY BE REQUIRED.
 - PERMIT
 - PERMIT APPLICATIONS, WHERE NO PERMIT IS ISSUED, SHALL EXPIRE PER LIMITATIONS SET BY LOCAL CODES, SECTION R115.
 - JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE

- GENERAL NOTES**
- GENERAL
 - ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. BUILDER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, TREES, UTILITIES, ETC.
 - BUILDER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHORING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.
 - ALL WOOD CONSTRUCTION CONNECTORS REFERENCED IN THIS DRAWING SHALL BE SIMPSON 'STRONG-TIE' OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - GREEN VINYL SINKER NAILS DO NOT MEET THE NAILING REQUIREMENTS OF COMMON NAILS.
 - PLYWOOD DIAPHRAGMS
15/32" CDX PLYWOOD OR 7/16" OSB.
 - MATERIAL EVALUATION REPORT IDENTIFICATION
 - TRUSS CONNECTION PLATES BY EAGLE METAL PLATES PER ICC-ES REPORT #ESR-1082.
 - SMARTSIDE SIDING BY LP CORPORATION PER ICC-ES REPORT #ESR-1301.
 - HARDEIPANEL SIDING BY JAMES HARDIE BUILDING PRODUCTS PER ICC-ES REPORT #ESR-1844.
 - HARDEIPLANK LAP SIDING BY JAMES HARDIE BUILDING PRODUCTS PER ICC-ES REPORT #ESR-2290.
 - LAMINATED VENEER LUMBER (LVL) BY WEYERHAEUSER PER ICC-ES REPORT #ESR-1367.
 - ASPHALT SHINGLES BY GAF PER ICC-ES REPORT #ESR-1475.
 - HOU PRE-DEFLECTED HOLDOWNS BY SIMPSON STRONG-TIE PER ICC-ES REPORT #ESR-2330.
 - SSTB ANCHOR BOLTS BY SIMPSON STRONG-TIE PER ICC-ES REPORT #ESR-2611.



McGinnis & Associates
CONSULTING ENGINEERS, INC.
1110 WESTMARK DRIVE
SAINT LOUIS, MISSOURI 63131
PHONE: (314) 835-1224
FAX: (314) 835-1224

PO No. 1889464
Customer: JIM GROUARD
Description:
ACCESSORY BUILDING
24' X 30' = 720 SQ FT
Ship Address:
FENBURY ST.
JERSEY VILLAGE, TX 77040

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY BOTH TUFF SHED AND THE ENGINEER OF RECORD.

TUFF SHED
Storage Buildings & Garages
TUFF SHED, INC.
1400 WOODBURY DRIVE
JERSEY VILLAGE, TX 77040
(713) 966-8888

Drawn By: PK
Date: 9/14/21
Checked By: SC
Date: 10/14/21
Revised:
Revised:

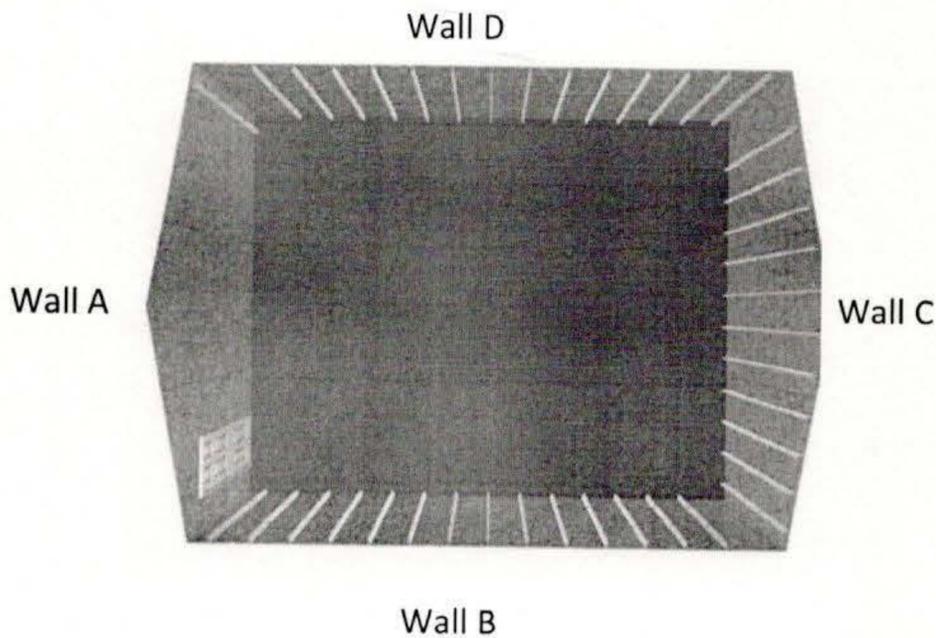
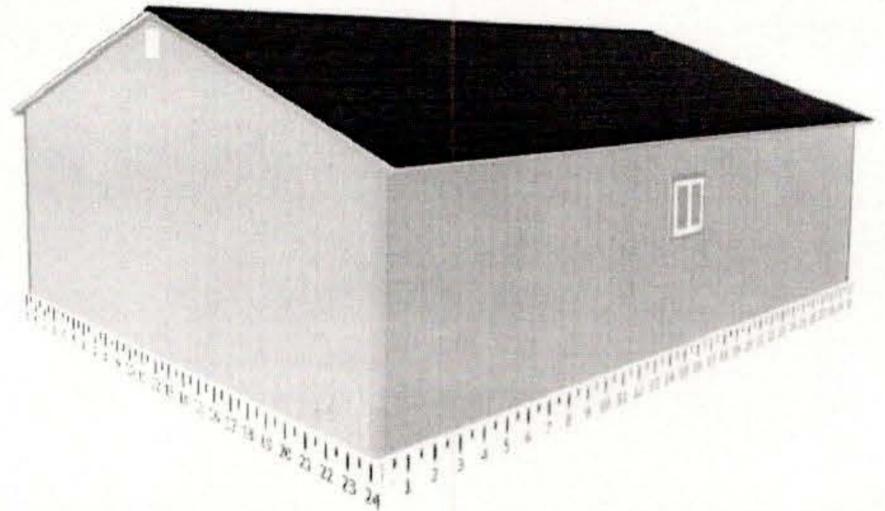
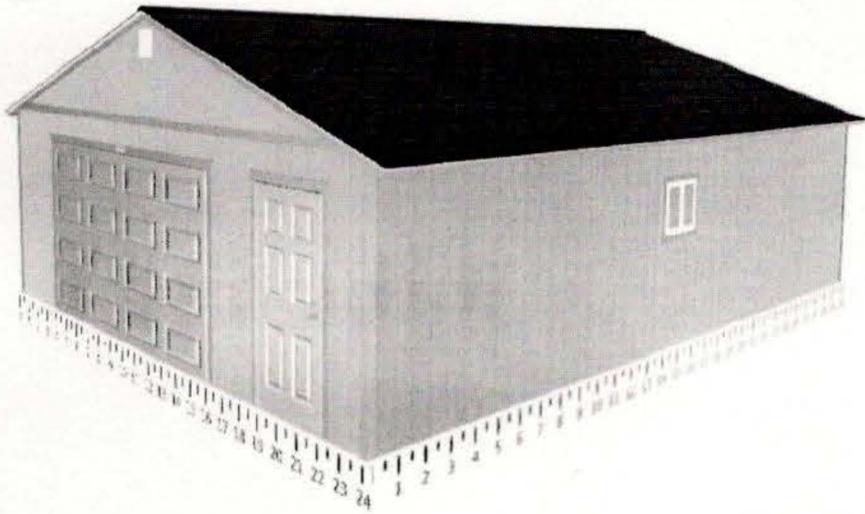
Title:
PROJECT NOTES
SHEAR WALL SCH
Scale: 1/4" = 1'-0"
Sheet:

SO
Sheet 1 of 4

NAILING SCHEDULE		SHEAR WALL SCHEDULE		SHEAR WALL SCHEDULE	
		CALC. SHEAR LOAD (lb/ft)	ALLOW. SHEAR LOAD (lb/ft)	CALC. SHEAR LOAD (lb/ft)	ALLOW. SHEAR LOAD (lb/ft)
CHORD SPLICE NAILING: 8 - 16d NAILS EACH SIDE OF SPLICE. TRUSS BLOCKING: (4) - 16d (TOENAIL)					
FRAMING NAILING: STUD TO TOP PLATE, 2-16d END NAIL. STUD TO SILL PLATE, 2-16d END NAIL OR 4-8d TOENAIL DBL. HEADER 16d @ 16" OC ALONG EACH EDGE HEADER TO KING STUD 4-8d TOENAIL OR 4-16d END NAIL DOUBLE TOP PLATES, 16d @ 16" FACENAIL		154	221	44	202
UNLESS SPECIFIED HEREIN, ALL NAILING SHALL BE PER 2018 IRC TABLE R602.3(1).					
UPLIFT TRANSFER: PROVIDE SIMPSON H2.5A AT EACH END OF TRUSSES.					
PROVIDE 2X4 SOLID BLOCKING ON ALL UNSUPPORTED EDGES OF PLYWOOD ON SHEAR WALLS.					150
UNBLOCKED ROOF DIAPHRAGM ROOF SHEATHING NAILING: BORDER: 8d COMMON @ 6" OC EDGE: 8d COMMON @ 6" OC FIELD: 8d COMMON @ 12" OC		97	148	44	202
END WALL SHEAR TRANSFER: SHEATHING AT END WALL LAPS TOP PLATE OF WALL BELOW. PROVIDE EDGE NAILING. REFERENCE END WALL ASSEMBLY/S3, OR BALLOON FRAME END WALLS.					
SIDING TESTED TO MEET THE REQUIREMENTS OF SECTION R703.1.1, EXCEPTION 2 OF THE 2018 IRC AND 2019 CRC. REFER TO INTERTEK LETTER REPORT NO. 104417961MID-001R1.					150

WHEN PERFORATED SHEAR WALL DESIGN IS DESIGNATED, AREAS ABOVE AND BELOW OPENINGS ARE USED IN SHEAR CALCULATIONS. REFER TO ANSI/AWC SDPWS.

SIMPSON	USP EQUIVALENT
H2.5A	RT7A
SSTB16-SSTB36	STB16-STB36
HOU2-HOU5	PHD2A-PHD5A
HOU8	PHD8
LUS24-LUS210	JUS24-JUS210
LS30/LS50	MP3/MP5
LSTA9-LSTA24	LSTA9-LSTA24
A24	TDL5
H1	RT15
H3	RT3A
H6	LFTA6
H8	LTW12
H10	RT16A
PA51/PA68	TA51/TA71
ABA44/ABA66	PA44E/PA66E
BC4/BC6	C44/C66
A311	TDL10
HST2	KHST2
SDS1/4X3 SCREW	WS3
A34	MP34
A35	MPA1
CS18/CS22	RS200/RS300
HTT4/HTT5	HTT16/HTT22
CMSTC16	CMSTC16



Base Details

Building Size & Style
 Sundance Ranch Garage - 24' wide by 30' long

Door
 Overhead Garage Door (12' x 7'),

Door
 6-Panel Residential Door (Left Hand Inswing),

Paint Selection
 Base: Color Not Chosen Yet, Trim: Color Not Chosen Yet

Roof Selection
 Autumn Brown 3 Tab

Drip Edge
 White

Options Details

Special Instructions
 TUFF SHED FLOOR

Windows
 2 Ea 2'x2' Insulated Horizontal Sliding Window

Roof
 818 Sq Ft Radiant Barrier Roof Decking
 30 Lin Ft Ridge Vent

Vents
 2 Ea 12"x12"Gable End Vent, White

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?
 No

Is there a power outlet within 100 feet of installation location?
 Yes

The building location must be level to properly install the building. How level is the install location?
 Slab provided by customer will be within 1/2" tolerance on square, level, exterior dimensions to match the building size (per customer agreement).

Will there be 18" of unobstructed workspace around the perimeter of all four walls?
 Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?
 Yes

Substrate Shed will be installed on?
 Concrete without Shed Floor

Signature: _____ Date: _____

**CITY OF JERSEY VILLAGE
 CERTIFICATION OF PUBLIC HEARING POSTING REQUIREMENTS
 BOARD OF ADJUSTMENT - PUBLIC HEARING
 April 12, 2022, at 12:00 P.M.**

Reason for Public Hearing:

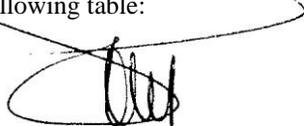
To receive written and oral comments from any interested person(s) concerning the request of Jim Girouard, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet for the property located at 15714 Tenbury Street, Jersey Village, Texas 77040.

Dale M. & Kimberly D. Blue	15801 Honolulu Street	Houston, TX 77040
Current Owner	15717 Honolulu Street	Houston, TX 77040
James A. JR. & Merlys M. Wilkerson	15713 Honolulu Street	Houston, TX 77040
Vewisier J. Turner Jr.	15709 Honolulu Street	Houston, TX 77040
Toni McMahon	15705 Honolulu Street	Houston, TX 77040
Dennis C. & Jennifer Noelle Dortlon	15701 Honolulu Street	Houston, TX 77040
Theodore R. Hunter	15806 Tenbury Street	Houston, TX 77040
Philip A. & Mariah C. Brooks	15802 Tenbury Street	Houston, TX 77040
Michael & Stacey Fransen	15718 Tenbury Street	Houston, TX 77040
Jimmy Girouard	15714 Tenbury Street	Houston, TX 77040
Tivadar Horvath	15710 Tenbury Street	Houston, TX 77040
Myrna G. Wansik	15706 Tenbury Street	Houston, TX 77040
Carl J. Lapaglia	15702 Tenbury Street	Houston, TX 77040
Current Owner	15701 Tenbury Street	Houston, TX 77040
Mary Gloyna Campbell	15705 Tenbury Street	Houston, TX 77040
John Demny Jr.	15709 Tenbury Street	Houston, TX 77040
James D. & Pamela Pulliam	15713 Tenbury Street	Houston, TX 77040
Lance & Jinah Suvans	15801 Tenbury Street	Houston, TX 77040
German & Patrica Collazos	15809 Tenbury Street	Houston, TX 77040

I, Lorri Coody, the duly appointed and acting City Secretary of the City of Jersey Village, Harris County, Texas, do hereby certify and attest that as part of my duties, I post official notices for the City of Jersey Village.

As such, on March 21, 2022, and in accordance with the Jersey Village Code of Ordinances Part II, Ch. 14, Art. X, Section 14-10 (b)(2)(a) written notices were mailed to adjacent property owners at least ~~eleven (11) days~~ prior to date of the Public Hearing. The property owners were mailed a written notice to the address listed in the following table:

Witness my hand and seal of the City this 21st day of March, 2022.



 Lorri Coody, City Secretary



BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

CITY OF JERSEY VILLAGE
APPLICANT CERTIFICATION OF PUBLIC HEARING POSTING REQUIREMENTS
BOARD OF ADJUSTMENT – April 12, 2022 - 12:00 P.M.

Reason for Public Hearing:

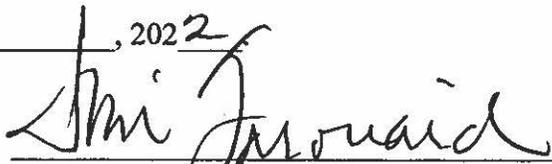
To receive written and oral comments from any interested person(s) concerning the request of Jim Girouard, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet for the property located at 15714 Tenbury Street, Jersey Village, Texas 77040.

I, JIM GIROUARD, applicant and/or property owner, do hereby certify that:

On MARCH 22, 2022, at least ten days prior to the date of the hearing, placed on the property at 15714 Tenbury, Jersey Village, Texas which is the subject of this hearing, signs indicating the type of relief sought or the proposed change in status of the property as well as the date, time and place of the hearing. The signs were placed at not more than 300-foot intervals across the property line fronting on the existing streets and were clearly visible from the streets. Each sign was located no more than ten feet from the property line and was no smaller than 18 inches by 24 inches,

All in accordance with Section 14-10(b)(2)(b) of the Jersey Village Code of Ordinances.

Signed this the MARCH day of 24, 2022.



Jim Girouard - Applicant

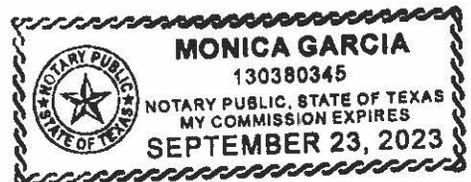
THE STATE OF TEXAS §
COUNTY OF HARRIS §

BEFORE ME, the undersigned authority, this day personally appeared _____, a person known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purpose and consideration therein expressed.

GIVEN UNDER my hand and seal of office this 24th day of MARCH, 2022.



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



BOARD OF ADJUSTMENT MEETING PACKET FOR THE MEETING TO BE HELD ON APRIL 12, 2022

Script for BOA Public Hearings on April 12, 2022

Read Item F on the Agenda and confirm that all meeting posting requirements have been met - then say:

I now call to order this public hearing. Everyone desiring to speak shall give his name and address and will be given 5 minutes to present information during the meeting.

The purpose of today's hearing is to receive written and oral comments from any interested person(s) concerning the request of Jim Girouard, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet for the property located at 15714 Tenbury Street, Jersey Village, Texas 77040.

Step 1: Call the applicant to present his case and all evidence supporting his plea

Step 2: Call the zoning official to present any information that he deems necessary or appropriate relative to the application

Step 3: Call on those opposed to the granting of the application to present their evidence and arguments

Step 4: Call the applicant for the right of rebuttal

Step 5: Order the hearing closed

(After everyone has spoken . . . or if no one desires to speak, finish the meeting with the following)

There being no one (else) desiring to speak, I now close this public hearing concerning the request of Jim Girouard, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet for the property located at 15714 Tenbury Street, Jersey Village, Texas 77040.

Lorri Coody

From: Phil Campbell [REDACTED]
Sent: Monday, March 28, 2022 11:49 AM
To: Lorri Coody
Cc: Mary Campbell
Subject: Variance request by Jim Girouard

Dear Lorri,

Referencing your letter of March 21, 2022, for request for variance to the Jersey Village Code of Ordinance at Ch14, Article IV etc. etc. by Jim Girouard. Our concerns with this request are as follows:

1. A differentiated value proposition for homes on Tenbury is the street is quiet with little to no traffic. If this utility structure might be used for commercial purposes or other uses that would result in a traffic increase or additional noise, it would diminish said value and we would not support approval of the variance.
2. The request greatly exceeds the spirit of the code by a significant multiplier and exceeds the size of adjacent buildings on other properties (that we are aware of). While this structure may not be visible from our house, if homes adjacent to Jim's should have their value diminished due to this adjacent building, it would impact home value across the neighborhood, and we would not support approval of the variance.

Thank you for considering our inputs. Please note, Jim has been a great neighbor!

Sincerely,
Phil and Mary Campbell
15705 Tenbury St.
Jersey Village, TX
713.417.3183

To Whom It May Concern,

Jim and I have been in a good relationship ever since he purchased his house next to mine, but I only learned about the details of his project from the letter from the City. (Thank you for keeping us informed.)

This process puts me in an awkward position, but I must put friendship aside and speak up to represent what is the best interest of my family, and apply my rights as a citizen, homeowner, and taxpayer of Jersey Village.

When I received the letter from the City, I made a quick calculation to measure up proposed building.

- According to the letter the JV Code of Ordinance allows a building of 100 square feet with a maximum of height of 8 feet which basically equals **800** cubic feet of volume (not considering the pitch of the roof).
- Compared to this the proposed structure of the 720 square feet with a maximum of height of 13 feet 7 11/16 inches which (13.64 Feet) equals to **9,820.8** cubic feet (again not considering the pitch of the roof).
- Based upon that the requested structure is **more than 12 times** the overall size of what is set forth by the City's building code.

I understand that the process we are following here is considered a "variance" from the standard code but in my opinion what he is asking is not a variance from the code but to **completely disregard** the spirit and the words of the **code**.

My understanding is that the proposed structure would reside behind the existing garage at the spot shown on the picture on the next page which from my master bedroom where I have 3 bay windows looking to our backyard.

I think it is obvious to everyone that building a large structure here would be an eyesore and would **negatively impact my property's resale values** and my family's living environment.



I built my house in Jersey Village about 5 years ago and later added a sprinkler system as well.

During the construction, we always had to follow the codes and procedures set by the City even in cases when it caused us delays and extra costs or required us to adjust our plans, but we accepted that **as the condition to be part of this wonderful community.**

I expect the City to make sure that others follow the same principles in order to maintain the safety and values of our city.

Thank you for your consideration,

Tivadar Horvath

Gina Demny Response

City of Jersey Village

RE: variance on 15714 Tenbury

Hello,

I live across the street at 15709 Tenbury. The requested building variance would not affect my view as much as it would adjacent properties, especially if they have a two-story home. The potential for flooding in JV applies to all properties and is not unique to his property.

My main objection is that the building is too large, 7.2X the sq. footage allowed and larger than any of the structures in table 14-1. We bought 29 years ago and have stayed while numerous floods have crushed our property values. We looked in the Lazybrook and Shepherd Park Plaza areas also when we bought. They were about the same price at that time, although older, so they needed \$40-45K (\$100k now) to update. We had an appraisal last year and my home was valued at **\$124/ft.** Those neighborhoods I mentioned above, sell for **\$250-\$300/sq ft**, more than double.

If this size variance is granted here, there could likely be more. The site of large, detached buildings (especially metal) in yards would be a detriment to the aesthetics of JV and property values. I have waited far too long for JV property values **to begin** to catch up with most of Houston. That itself is baffling to me considering our location and small-town ambiance with our own fire and police departments.

Sincerely,

Gina Demny

BOARD OF ADJUSTMENT - CITY OF JERSEY VILLAGE, TEXAS - AGENDA REQUEST

AGENDA DATE: April 12, 2022

AGENDA ITEM: F1

AGENDA SUBJECT: Discuss and take appropriate action on the request of Jim Girouard, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet for the property located at 15714 Tenbury Street, Jersey Village, Texas 77040.

Department/Prepared By: Lorri Coody, City Secretary

EXHIBITS: Application and Other Documents Included in PH Item
[Section 14-101](#) – Regulations for All Districts

BACKGROUND INFORMATION: Jim Girouard, owner, has filed a request for variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet for the property located at 15714 Tenbury Street, Jersey Village, Texas 77040.

The Board has previously conducted the Public Hearing in connection with this request. This item is to act upon the request. The Board, in making its decision on this request must consider:

- if the request for variance is contrary to the public’s interest;
- if, due to special conditions, enforcement of Chapter 14, Article IV, Division 2, Section 14-101(b) would result in an unnecessary hardship; and
- that in granting the variance, the spirit of this chapter would be upheld and observed.

In exercising its authority, the Board may consider the following as grounds, as presented by the applicant, to determine whether compliance with the ordinance as applied to a structure would result in unnecessary hardship:

- (1) the financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01, Tax Code;
- (2) compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur;
- (3) compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement;
- (4) compliance would result in the unreasonable encroachment on an adjacent property or easement; or
- (5) the municipality considers the structure to be a nonconforming structure.

RECOMMENDED ACTION:

Discuss and take appropriate action on the request of Jim Girouard, owner, for a variance to the Jersey Village Code of Ordinance at Chapter 14, Article IV, Division 2, Section 14-101(b)(1), to allow the applicant to exceed the 8 foot utility structure height requirement by 5 feet 7 11/16 inches; and for a variance to the Jersey Village Code of Ordinances at Chapter 14, Article IV, Division 2, Section 14-101(b)(2), to allow the applicant to exceed the 100 square foot utility structure area requirement by 620 square feet for the property located at 15714 Tenbury Street, Jersey Village, Texas 77040.

Sec. 14-101. - Regulations for district A (single-family dwelling district).

- (a) *Use regulations.* No building or land shall be used and no building shall be hereafter erected, moved or altered in district A except for one or more of the following uses:
- (1) Single-family dwellings.
 - (2) Public parks and playgrounds, public recreational facilities, public schools, community buildings and public museums not operated for profit.
 - (3) Municipal government buildings, police stations, fire stations, and public libraries.
 - (4) Water supply reservoirs, filter beds, towers, surface or below surface tanks, artesian wells, water pumping plants and water wells.
 - (5) *Home occupations.*
 - a. *Intent.* This section provides standards for the establishment of a home occupation in a neighborhood and regulates the operation of a home occupation so that the average neighbor will be unaware of its existence.
 - b. *Definition.* Home occupation means an accessory occupational use conducted entirely within a dwelling unit by its inhabitants that is clearly incidental to the use of the structure for residential purposes and that does not change the residential character of the site. A home occupation may include an operation in which members of the immediate family sell or offer for sale articles which they produce on the premises; but home occupation does not include operations that use persons who do not reside on the premises to either (1) sell or offer for sale such articles, or (2) produce such articles. Additionally, animal hospitals, animal kennels, barber shops, beauty shops, clinics, doctor's offices, dress shops, hospitals, insurance offices, millinery shops, real estate offices, tearooms, tourist homes, palm readers, fortune tellers, among others and as examples only, are not home occupations.
 - c. *Standards.* To operate a home occupation, the following standards shall be met:
 1. The home occupation must be clearly incidental to the use of the dwelling as a residence;
 2. No outdoor sign, display or storage of materials, goods, supplies or equipment shall be allowed;
 3. There shall be no change to the exterior of the building nor any visible evidence or signs that the residence contains a home occupation;
 4. A home occupation shall not generate a nuisance such as traffic, on-street parking, noise, and electrical interference or hazards;
 5. The maximum area devoted to a home occupation shall be 25 percent of the gross floor area of the dwelling unit;
 6. The home occupation shall not use employees who do not reside on the premises.

- (6) *Additional structures.* Accessory uses and freestanding structures in addition to the single-family dwelling:
- a. One detached private garage; and
 - b. Other freestanding structures:
 1. Utility structure;
 2. Greenhouse;
 3. Hobby structure;
 4. Pet house;
 5. Playhouse;
 6. Gazebo;
 7. Cabana or dressing room; and
 8. Pool cover.
- (7) Freestanding structures in addition to the single-family dwelling:
- a. One detached private garage; and
 - b. Other freestanding structures:
 1. Utility structure;
 2. Greenhouse;
 3. Hobby structure;
 4. Pet house;
 5. Playhouse;
 6. Gazebo;
 7. Cabana or dressing room; and
 8. Pool cover.
- (8) Churches or other places of worship and related schools.
- (9) Golf courses and country clubs.
- (10) Electric power lines and electric substations, including accessory uses customarily incidental thereto; provided that any such accessory

use shall not be so obnoxious or offensive as to be reasonably calculated to disturb persons of ordinary temper, sensibilities and disposition by reason of vibration, noise, view or the emission of odor, dust, smoke or pollution of any other kind. The height and area, construction, and other regulations provided by this section shall not apply to uses allowed by this subsection.

- (11) Model homes, provided that a builder may have no more than one model home in a subdivision. A model home must have a temporary certificate of occupancy and may be open for business only between the hours of 6:00 a.m. and 9:00 p.m. Use of a structure as a model home shall terminate on the first of the following events to occur: (i) the expiration of 30 days after building permits have been issued for 90 percent of the lots in the subdivision; or (ii) the expiration of 30 days after building permits have been issued for all lots owned by the builder in the subdivision; or (iii) the expiration of 180 days after issuance of the latest building permit to the builder for a lot in the subdivision.
- (b) *Height and area regulations.* The height of buildings, the minimum area of buildings, the minimum lot size and the minimum dimensions of yards in district A shall be as follows:
- (1) *Height.*
- a. Single-family residences shall not exceed 2½ stories in height, except for Blocks 26, 38, 41, 42 and 47, which shall not exceed 1½ stories.
 1. When a new single-family residence in district A conforms with the limitation on number of stories above, but exceeds 35 feet in height, one foot of additional side setback and one foot of additional rear setback from the minimum required shall be provided for each one foot of additional building height above 35 feet.
 2. Add-on construction to an existing single-family residence shall not result in building height greater than 35 feet unless:
 - i. The existing residence was constructed farther from the side and rear property lines than the minimum required setbacks, to where the additional setback is sufficient to enable the improved residence to satisfy the requirement of this subsection for additional side and rear setback to offset additional height above 35 feet; or
 - ii. The proposed construction work on the existing residence will change the location of the side and/or rear exterior walls to where the improved residence will satisfy the requirement of this subsection for additional side and rear setback to offset additional height above 35 feet.
 - b. Detached private garages and freestanding structures other than those freestanding structures listed in subsection (b)(1)c of this section, shall not exceed in height the roof peak of the residence.
 - c. The height of all freestanding structures except residential structures and freestanding garages shall conform to table 14-1 of this article.

- d. Nonresidential structures shall not exceed 35 feet in height.

TABLE 14-1

		Height (feet)	Maximum Size (square feet)
1.	Utility structure	8	100
2.	Greenhouse	12	200
3.	Pet house	<u>4</u>	50
4.	Hobby structure	12	200
5.	Playhouse	12	200
6.	Gazebo	15	500
7.	Cabana or dressing room	12	200
8.	Pool cover	15	not applicable

(2) *Building area.*

- a. Single-family dwellings shall have a building area of at least 1,750 square feet for single-floor residences, or 1,200 square feet on the ground floor for multistory residences.
- b. Detached private garages shall not exceed four-car capacity or 1,000 square feet of ground floor area.
- c. On residential lots the total ground floor area of all freestanding structures within a required rear yard shall not exceed 25 percent of the area of the rear yard.
 1. This limitation on rear yard coverage shall increase to 40 percent of the area of the rear yard in cases where a detached private garage that is partially or entirely situated within the rear yard area does not exceed one story or 20 feet in height, whichever is less.
- d. Nonresidential buildings shall contain not less than 1,000 square feet of ground floor area, except for churches or other places of worship which shall contain not less than 4,000 square feet of ground floor area.
- e. The maximum size of all freestanding structures except residential structures and freestanding garages shall conform to the standards contained in table 14-1.

(3) *Location on lot.*

- a. The setbacks established in section 14-88(b) may be modified as follows: Except as provided by subsections b, c and d hereof, detached private garages and other freestanding structures shall not be located on any lot closer than 70 feet to the front lot line, three feet to a side lot line, ten feet to a rear lot line, ten feet to a side street line or ten feet to the single-family dwelling. Detached private garages and other freestanding structures exceeding one story in height shall not have second story openings facing the nearest side or rear lot line, except as may be required to comply with standards for emergency access and egress.
- b. The setbacks established in section 14-88(b) may be modified as follows: A nonresidential building shall not be located closer than 25 feet to the front lot line, 25 feet to a side lot line, or 25 feet to a rear lot line.
- c. A carport shall not be located closer than three feet to a side lot line, ten feet to a rear lot line or ten feet to a side street line; provided that a carport which loads from a side street shall not be located closer than 20 feet to the side street line.
- d. An attached or detached private garage which loads from a side street shall not be located closer than 20 feet to the side street line.
- e. An attached private garage oriented for front loading shall be set back at least 25 feet from the front building line. If the single-family dwelling is set back farther on the lot than the minimum required front setback, then the attached private garage shall be set back at least 25 feet from the point on the front façade of the dwelling that is closest to the front building line. In no case may the vehicular access doors of an attached private garage be located closer to the front building line than any other point on the front façade of the dwelling, unless the dwelling is on an interior lot within a block and the attached private garage is oriented for side loading.

(4) *Lot size.* No lot in this district shall have less than 10,000 square feet of total area, and no lot shall be less than 70 feet wide at the front building line; provided, however, that no church or other place of worship shall be constructed on a lot having less than five acres of total area.

- a. No lot in this district for a single-family detached dwelling shall have a total area that exceeds by more than 20 percent the total area of any other lot for a single-family detached dwelling on the same blockface.
- b. No lot in this district for a single-family detached dwelling shall have a width that exceeds by more than 20 percent the width of any other lot for a single-family detached dwelling on the same blockface.

(5) *Open areas.*

- a. Residential lots shall have a minimum of 50 percent of the required front yard and required side yards adjacent to a side street devoted to landscaping.
- b. Nonresidential lots shall have a minimum of ten percent of the total lot area devoted to landscaping. All open unpaved or uncovered space shall be devoted to landscaping.

- (c) *Construction.* The exterior walls on all residences in district A shall be a least 75 percent masonry construction to the top elevation line of the building sides of the first floor. Slab on grade home elevations must install masonry skirts to cover the sub-slab void or crawlspace, below exterior walls. The style and quality of all carports, detached private garages and freestanding structures constructed after a certificate of occupancy shall conform to the original structure; provided, however, that only utility structures may have metal facades.
- (1) Masonry construction may include brick, stucco, or stone material. Stucco must be integrally colored or otherwise finished with a coating.
 - (2) Use of CMU for exterior wall veneers is prohibited in this district, except that split-face concrete blocks, integrally colored or otherwise finished with a coating, may be utilized for the construction of veneer skirts for slab on grade home elevations. EIFS is prohibited.
- (d) *Other regulations; fences and hedges.*
- (1) No fence in district A shall be permitted in the front yard, extending past the building setback line. For side street fencing, where one or more lots have frontage on the street, wrought iron style fencing may be installed to within two feet of the public sidewalk and shall not encroach beyond the side lot line.
 - (2) Fences in district A may not be erected and hedges may not be planted directly on a property line without the express agreement of the property owners on both sides of the property line.
 - (3) Fences in district A shall not exceed eight feet in height, and shall be of a permanent type, such as chainlink, redwood, cedar, wrought iron, brick or other approved material of equal quality.
 - (4) Refuse containers or similar equipment on nonresidential lots in district A shall be screened from public view, and from adjacent buildings or property, whether public or private. Such screening shall be permanent and opaque and of wood, metal or masonry material and shall be at least as high as the screened object, but in no event shall be less than six feet in height.

(Ord. No. 95-04, § 1(303.1), 2-20-95; Ord. No. 98-15, §§ 1, 2, 6-15-98; Ord. No. 99-31, §§ 6, 7, 11-15-99; Ord. No. 01-02, § 1, 1-15-01; Ord. No. 03-04, § 1, 1-20-03; Ord. No. 03-28, § 1, 7-21-03; Ord. No. 2013-46, § 3(Exh. A), 12-16-13; Ord. No. 2017-54, § 2, 12-18-17; Ord. No. 2017-58, § 2, 12-18-17; Ord. No. 2019-26, § 2, 6-17-19; Ord. No. 2019-28, § 2, 5-17-19)